

TROYAUSTEN

REAL ESTATE TEAM

RE/MAX Professionals North Brokerage
Independently Owned & Operated



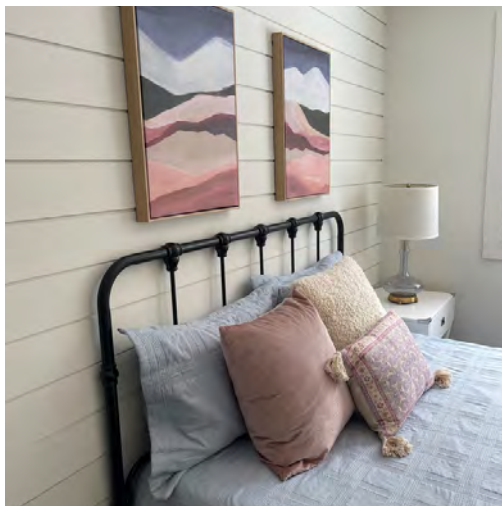
\$629,000

Welcome to 1043 Broadleaf Road
Wilberforce



Troy Austen

Sales Representative



CONTACT DETAILS:



705-457-9994



info@troyausten.ca



705-455-7653



troyausten.ca



This updated raised bungalow offers a functional layout designed for family living. The open-concept kitchen, dining, and living area provides plenty of space for gatherings, with main-floor laundry adding everyday convenience. Three bedrooms and two bathrooms ensure room for everyone, while the newly finished basement rec room creates additional space for relaxation or play. A rear deck leads to a bright 16' x 12' four-season sunroom, perfect for enjoying the outdoors year-round. The attached garage features 13' ceilings for extra storage. Located at the end of a year-round municipal road, this 2.5-acre property offers privacy while remaining within walking distance of Wilberforce's amenities, including a library, grocery store, LCBO, and a public beach. Just 20 minutes to Haliburton and 2.5 hours from the GTA.

Property Client Full

1043 Broadleaf Road, Highlands East, Ontario K0L 3C0

Listing

[1043 Broadleaf Rd Highlands East](#)

Active / Residential Freehold / Detached

MLS®#: **X12031173**

List Price: **\$629,000**

New Listing

Haliburton/Highlands East/Monmouth



Tax Amt/Yr: **\$2,144.82/2024** Transaction: **Sale**
SPIS: **No** DOM: **0**
Legal Desc: **PART OF LOT 32 CONCESSION 16 MONMOUTH DESIGNATED AS PART 9, 19R-4865 MUNICIPALITY OF HIGHLANDS EAST**

Style: **Bungalow Raised** Rooms Rooms+: **7+2**
Fractional Ownership: **No** BR BR+: **3(3+0)**
Assignment: **No** Baths (F+H): **2(2+0)**
Link: **No** SF Range: **1100-1500**
Storeys: **No** SF Source: **No**
Lot Irreg: **No** Lot Acres: **2 - 4.99**
Lot Front: **201.45** Fronting On: **S**
Lot Depth: **370.00**
Lot Size Code: **Acres**

Zoning: **R1**

Dir/Cross St: **Cockle Crk Ests Rd**

PIN #: **392760377**

ARN #: **460160200033960**

Contact After Exp: **No**

Holdover: **60**

Possession: **Flexible**

Possession Date:

Kitch Kitch + **1 (1+0)**
Island YN: **No**
Fam Rm: **No**
Basement: **Yes/Finished, Full**
Fireplace/Stv: **Yes**
Fireplace Feat: **Living Room, Wood Stove**
Interior Feat: **Primary Bedroom - Main Floor**

Heat: **Forced Air, Propane**
A/C: **No/None**
Central Vac: **No**
Property Feat: **Beach, Lake Access, Library, Place of Worship, Rec Centre, School**

Exterior Feat: **Deck, Privacy, Year Round Living**

Roof: **Asphalt Shingle**

Foundation: **Concrete Block**

Soil Type:

Waterfront Y/N: **No**

Under Contract: **Propane Tank**

Access To Property: **Yr Rnd Municipal Rd**

View: **Trees/Woods**

Exterior: **Metal/Side, Wood**
Drive: **Private**
Garage: **Yes**
Gar/Gar Spcs: **Attached Garage/1.0**
Drive Pk Spcs: **3.00**
Tot Pk Spcs: **4.00**
Pool: **None**

Room Size:
Easements Rest:
Rural Services: **Electrical, Internet High Speed**

Security Feat:

Water: **Well**
Water Inc: **Drilled Well**
Water Meter:
Waterfront Feat: **No**
Waterfront Struc: **No**
Well Capacity:
Well Depth:
Sewers: **Septic**
Special Desig: **Unknown**
Farm Features:
Winterized: **Fully**

Waterfront: **None**

Dev Charges Paid:

Lot Shape: **Irregular**

Waterfront Frontage (M):

HST App To SP: **Included In**

Lot Size Source: **Survey**

Remarks/Directions

Client Rmks: **This updated raised bungalow offers a functional layout designed for family living. The open-concept kitchen, dining, and living area provides plenty of space for gatherings, with main-floor laundry adding everyday convenience. Three bedrooms and two bathrooms ensure room for everyone, while the newly finished basement rec room creates additional space for relaxation or play. A rear deck leads to a bright 16' x 12' four-season sunroom, perfect for enjoying the outdoors year-round. The attached garage features 13' ceilings for extra storage. Located at the end of a year-round municipal road, this 2.5-acre property offers privacy while remaining within walking distance of Wilberforce's amenities, including a library, grocery store, LCBO, and a public beach. Just 20 minutes to Haliburton and 2.5 hours from the GTA.**

Listing Contracted With: **RE/MAX Professionals North 705-457-1011**

Prepared By: **TROY AUSTEN, REALTOR Salesperson**

Date Prepared: **03/20/2025**

Rooms

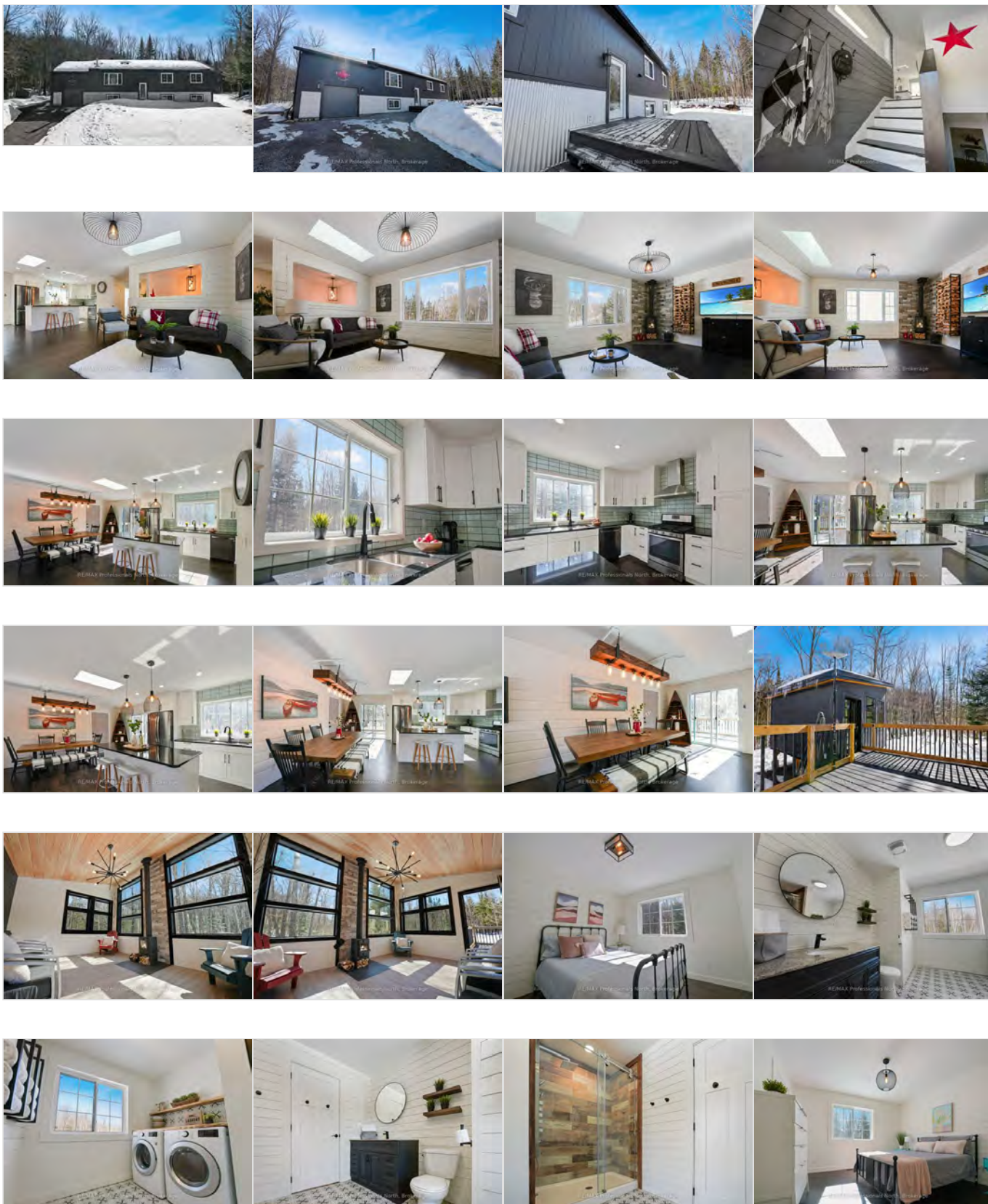
MLS®#: **X12031173**

Room	Level	Dimensions (Metric)	Dimensions (Imperial)	Bathroom Pieces	Features
Foyer	Ground	2.56 M X 2.25 M	8.39 Ft x 7.38 Ft		
Kitchen	Main	6.71 M X 8.23 M	22.01 Ft x 27.00 Ft		Combined w/Dining, Combined w/Living
Bedroom	Main	3.65 M X 3.05 M	11.97 Ft x 10.00 Ft		

Primary Bedroom	Main	3.65 M X 3.65 M	11.97 Ft x 11.97 Ft	Combined w/Family Unfinished
Bedroom	Main	3.65 M X 3.35 M	11.97 Ft x 10.99 Ft	
Recreation	Basement	7.83 M X 6.98 M	25.68 Ft x 22.90 Ft	
Utility Room	Basement	8.19 M X 5.33 M	26.87 Ft x 17.48 Ft	
Bathroom	Main			
Bathroom	Main			3
Photos				4

MLS® #: X12031173

[1043 Broadleaf Road](#), Highlands East, Ontario K0L 3C0





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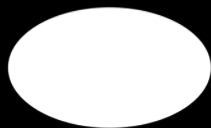
Chattels

Included

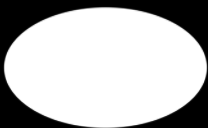
- All kitchen appliances
- Washer and Dryer

Excluded

- Personal Items
- Stagers Accessories



Seller



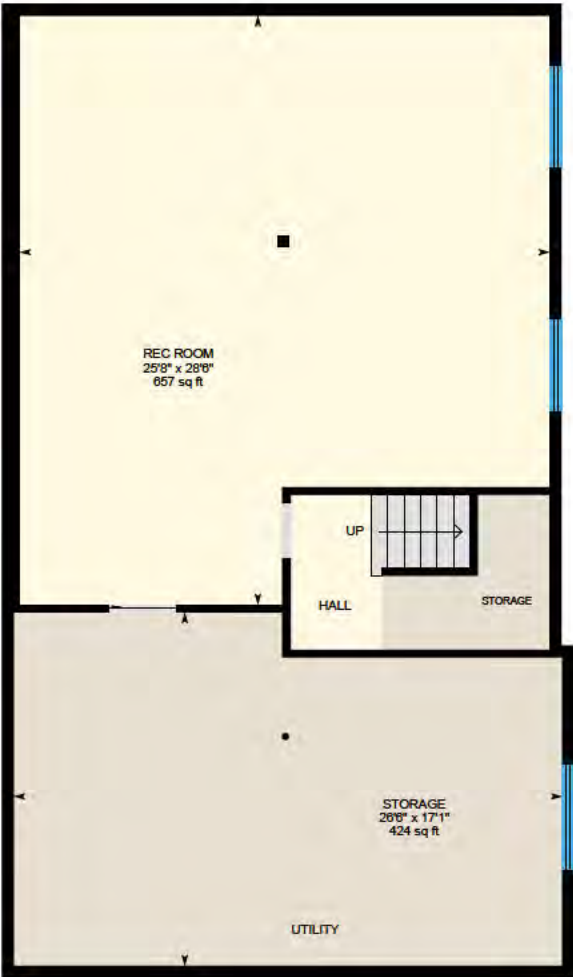
Buyer

Additional Information

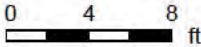
- Propane Cost Per Year: \$2857/yr approx
- Propane Supplier: Budget
- Wood Supplier: Green Lake
 - Wood cords per season: \$350
- Internet Provider: Starlink
 - Highspeed Available: Yes
- Cell Service: Yes
- Septic Last Pumped: October 2024
- Fully Winterized
- Age of Roof: 1 Year
- Insurance Company: Dejardins
- Road Type: Municipal Year Round
- Driveway Plowing Costs: \$250/season

1043 Broadleaf Rd, Wilberforce, ON

Main Building: Total Interior Area Above Grade 1270.29 sq ft



Basement (Below Grade)
Interior Area 1192.33 sq ft

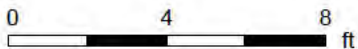


Main Floor
Interior Area 1270.29 sq ft



1043 Broadleaf Rd, Wilberforce, ON

Basement (Below Grade) Interior Area 1192.33 sq ft



PREPARED: 2025/03/13



White regions are excluded from total floor area in iGUIDE floor plans. All room dimensions and floor areas must be considered approximate and are subject to independent verification.

1043 Broadleaf Rd, Wilberforce, ON

Main Floor Interior Area 1270.29 sq ft



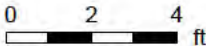
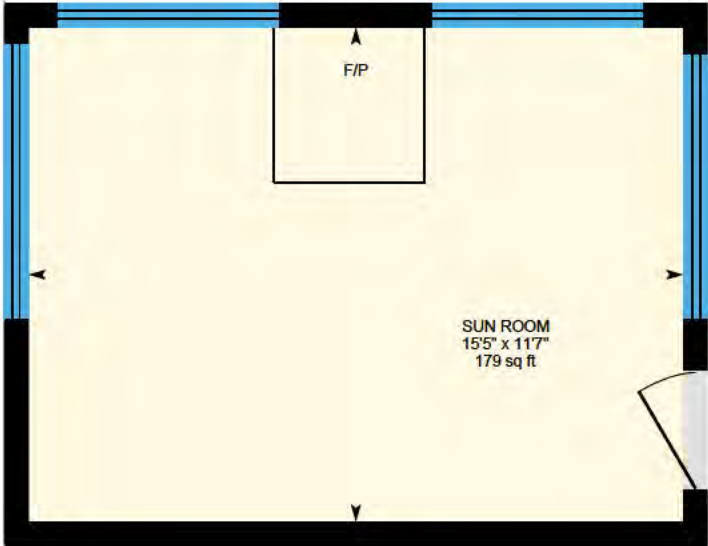
PREPARED: 2025/03/13



White regions are excluded from total floor area in iGUIDE floor plans. All room dimensions and floor areas must be considered approximate and are subject to independent verification.

1043 Broadleaf Rd, Wilberforce, ON

Sun Room Interior Area 178.81 sq ft



PREPARED: 2025/03/13



White regions are excluded from total floor area in iGUIDE floor plans. All room dimensions and floor areas must be considered approximate and are subject to independent verification.

1043 Broadleaf Rd, Wilberforce, ON

Property Details

Room Measurements

Only major rooms are listed. Some listed rooms may be excluded from total interior floor area (e.g. garage). Room dimensions are largest length and width; parts of room may be smaller. Room area is not always equal to product of length and width.

Main Building

BASEMENT

Rec Room: 25'8" x 28'6" | 657 sq ft

Storage: 26'6" x 17'1" | 424 sq ft

MAIN FLOOR

3pc Bath: 10'11" x 11'1" | 109 sq ft

4pc Ensuite: 4'10" x 7'7" | 37 sq ft

Bedroom: 12' x 10'1" | 121 sq ft

Bedroom: 10'11" x 11'10" | 117 sq ft

Dining: 12'4" x 8' | 99 sq ft

Kitchen: 12'4" x 13'10" | 159 sq ft

Living: 14'8" x 15'3" | 223 sq ft

Primary: 12' x 11'11" | 142 sq ft

Sun Room

SUN ROOM

Sun Room: 11'7" x 15'5" | 179 sq ft

Floor Area Information

Floor areas include footprint area of interior walls. All displayed floor areas are rounded to two decimal places. Total area is computed before rounding and may not equal to sum of displayed floor areas.

Main Building

BASEMENT (Below Grade)

Interior Area: 1192.33 sq ft

MAIN FLOOR

Interior Area: 1270.29 sq ft

Sun Room

SUN ROOM

Interior Area: 178.81 sq ft

Total Above Grade Floor Area, Main Building

Interior Area: 1270.29 sq ft

Total Above Grade Floor Area, Sun Room

Interior Area: 178.81 sq ft



**Marsh's Stoves
& Fireplaces** Since 1948

3322 Dundas Street West, Toronto, Ont M6P 2A4 416-762-4582 1800-906-5557

www.marshsfireplaces.com Email: info@marshs.ca

March 17th, 2023

W.E.T.T INSPECTION

Regarding the installation of a Morso woodburning stove, model #1410.

- An insulated, prefabricated chimney system was installed vertically through the roof structure of the main level.
- Required wall roof shields, supports and rain protections were used.
- The woodstove was assembled and installed into a corner on the main floor level according to it's listed clearances.
- Floor protection was achieved by means of large single piece metal pad
- All clearances have been maintained and the installation complies with the manufacturers listed instructions and B365.17 reference to the Ontario Building Code.

With many thanks:

Tony Bourdeau:
WET#5247

Marsh's Stoves & Fireplaces

tony@marshs.ca

Cell: 416-885-8544



3322 Dundas Street West, Toronto, Ont M6P 2A4 416-762-4582 1800-906-5557
www.marshsfireplaces.com Email: info@marshs.ca

March 17th, 2023

W.E.T.T INSPECTION

Regarding the installation of a Morso woodburning stove, model #6143.

- An insulated, prefabricated chimney system was installed vertically through the roof structure of the main level.
- Required wall roof shields, supports and rain protections were used.
- The woodstove was assembled and installed into a corner on the main floor level according to it's listed clearances.
- Floor protection was achieved by means of large single piece metal pad
- All clearances have been maintained and the installation complies with the manufacturers listed instructions and B365.17 reference to the Ontario Building Code.

With many thanks:

Tony Bourdeau:
WET#5247

Marsh's Stoves & Fireplaces
tony@marshs.ca
Cell: 416-885-8544



Your Electricity Statement

For the period of: January 30, 2025 - February 28, 2025

Your account number is:

2002 5641 7144

This statement is issued on:

March 7, 2025

What do I owe?

\$73.⁹⁰

See reverse for a summary of your charges

How much did I use?

You powered your home with



268 kWh

of electricity this period

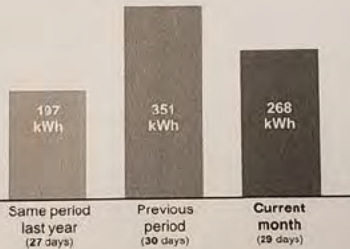
When is it due?

**Mar 27,
2025**

What does my electricity usage look like?

Your average daily usage has **increased by 27%** compared to the same period last year.

Find out more by logging into **myAccount** at www.HydroOne.com



What do I need to know?

Total Ontario support: \$37.97. To learn more about the province's electricity support programs, visit Ontario.ca/yourelectricitybill



For billing, quick answers and much more, visit www.HydroOne.com



For emergencies or reporting outages **1-800-434-1235** (24 hrs)



For service inquiries and payment **1-888-664-9376**

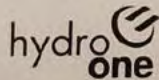
Mon to Fri 7:30 a.m. - 8 p.m.



Hydro One Networks Inc.
PO Box 5700
Markham, ON L3R 1C8

Please return this slip with your payment.

Your account number: **2002 5641 7144**



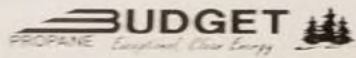
Total amount you owe **\$73.90**

Amount enclosed

\$

HYDRO ONE NETWORKS INC.
PO BOX 4102 STN A
TORONTO ON M5W 3L3

2002564171440000073907



1011 Beiers Road
Gravenhurst, ON P1P 1R1
budgetpropaneontario.com
(705) 587-5608

Account No: 01-22531

Invoice Date: 11/14/24

Invoice Number: 3211459

Tank Number: F00177158

1043 BROADLEAF ROAD
WILBERFORCE ON

I N V O I C E

Terms: NET 15 Days

Tax #: R123217366

Item	Quantity	Unit Price	Amount
Propane Delivery	758	.769/ LT	582.90
Hazmat Fee			9.00
Federal Fuel Charge			93.84
H.S.T. (Harmonized Sales Tax)		13.00 %	89.15
Invoice Total:			774.89



Ministry of
the Environment

Well Tag No. (Place Sticker and/or Print Below)

A106944

Well Record

Regulation 803 Ontario Water Resources Act

Measurements recorded in: ☒ Metric ☐ Imperial

Page ____ of ____

Well Owner's Information

E-mail Address

☐ Well Constructed

County/District/Municipality

HALIBURTON

City/Town/Village

WILBERFORCE

Ontario

UTM Coordinates

Zone

813

Northings

451019115

Municipal Plan and Sublot Number

Other

Overburden and Bedrock Materials/Abandonment Sealing Record (See instructions on the back of this form)

General Colour	Most Common Material	Other Materials	General Description	Depth (m/ft)
black soil			top soil	0 2.16
grey granite				2.16 49.72

Annular Space				Results of Well Field Testing							
Depth Set at (m/ft)		Type of Sealant Used (Material and Type)		Volume Placed (m ³ /ft ³)		After test of well yield, water was:		Draw Down		Recovery	
From	To					<input checked="" type="checkbox"/> Clear and sand free <input type="checkbox"/> Other, specify		Time (min)	Water Level (m/ft)	Time (min)	Water Level (m/ft)
0	6.1	betonite slurry		0.1		If pumping discontinued, give reason:		Static Level	7.93		24.05
						Pump Intake set at (m/ft)		1	↓	1	↓
						4.8 m		2	↓	2	↓
						Pumping rate (l/min / GPM)		3	↓	3	↓
						18.2		4	↓	4	↓
						Duration of pumping		5	11.18	5	20.36
						1 hrs + 8 min		10	14.07	10	17.14
						Final water level end of pumping (m/ft)		15	16.28	15	15.48
						24.05		20	18.02	20	12.96
						If flowing give rate (l/min / GPM)		25	19.34	25	10.41
						Recommended pump depth (m/ft)		30	20.03	30	8.06
						4.8 m		40	22.41	40	7.93
						Recommended pump rate (l/min / GPM)		50	23.12	50	7.93
						22.75 l/min		60	24.05	60	7.93
						Well production (l/min / GPM)					
						50 l/min					
						Disinfected?					
						<input type="checkbox"/> Yes <input type="checkbox"/> No					
						Map of Well Location					
						Please provide a map below following instructions on the back.					
						4N					
						To Wilberforce					
						0.8 km					
						Cookie Creek Estates Rd					
						0.5 km					
						Essexville Ln.					
						Well					

Method of Construction				Well Use					
<input type="checkbox"/> Cable Tool	<input type="checkbox"/> Diamond	<input type="checkbox"/> Public	<input type="checkbox"/> Commercial	<input type="checkbox"/> Not used	<input type="checkbox"/> Rotary (Conventional)	<input type="checkbox"/> Jetting	<input type="checkbox"/> Domestic	<input type="checkbox"/> Municipal	<input type="checkbox"/> Dewatering
<input type="checkbox"/> Rotary (Reverse)	<input type="checkbox"/> Driving	<input type="checkbox"/> Livestock	<input type="checkbox"/> Test Hole	<input type="checkbox"/> Monitoring	<input type="checkbox"/> Boring	<input type="checkbox"/> Digging	<input type="checkbox"/> Irrigation	<input type="checkbox"/> Cooling & Air Conditioning	
<input checked="" type="checkbox"/> Air percussion		<input type="checkbox"/> Industrial							
<input type="checkbox"/> Other, specify		<input type="checkbox"/> Other, specify							

Construction Record - Casing				Status of Well			
Inside Diameter (mm/in)	Open Hole Off Material (Galvanized, Fibreglass, Concrete, Plastic, Steel)	Pipe Thickness (mm/in)	Depth (m/ft)	<input type="checkbox"/> Water Supply	<input type="checkbox"/> Replacement Well	<input type="checkbox"/> Test Hole	<input type="checkbox"/> Recharge Well
158	steel	0.48	0 6.1	<input type="checkbox"/> Dewatering Well	<input type="checkbox"/> Observation and Monitoring Hole	<input type="checkbox"/> Alteration (Construction)	<input type="checkbox"/> Abandoned, Insufficient Supply
				<input type="checkbox"/> Abandoned, Poor Water Quality	<input type="checkbox"/> Abandoned, other, specify	<input type="checkbox"/> Other, specify	

Construction Record - Screen				Water Details			
Outside Diameter (mm/in)	Material (Plastic, Galvanized, Steel)	Slot No	Depth (m/ft)	Water found at Depth (m/ft)	Kind of Water	Fresh	Untested
				4.9	Gas	<input type="checkbox"/> Gas	<input type="checkbox"/> Other, specify
					Kind of Water	Fresh	Untested
					Kind of Water	Fresh	Untested
					Kind of Water	Fresh	Untested

Water Details				Water Details			
Water found at Depth (m/ft)	Kind of Water	Fresh	Untested	Water found at Depth (m/ft)	Kind of Water	Fresh	Untested
4.9	Gas	<input type="checkbox"/> Gas	<input type="checkbox"/> Other, specify	4.9	Gas	<input type="checkbox"/> Gas	<input type="checkbox"/> Other, specify
	Kind of Water	Fresh	Untested		Kind of Water	Fresh	Untested
	Kind of Water	Fresh	Untested		Kind of Water	Fresh	Untested

Well Contractor and Well Technician Information			
Business Name of Well Contractor		Well Contractor's License No.	
Dennis Decker Drilling Ltd		117148	
Business Address (Street Number/Name)		Municipality	
110 Mountain Street		Haliburton	
Province		Postal Code	
Business E-mail Address			

ABBREVIATIONS	
AFF	Above Finished Floor
CL	Closet
EC	Electrical Contractor
EQUIP	Equipment
EXIST	Existing
EXT	Exterior
GC	General Contractor
GWB	Gypsum Wall Board
INT	Interior
MIN	Minimal
MR	Mould Resistant
MW	Millwork
NIC	Not In Contract
PT	Pressure Treated
QTY	Quantity
R.O.W.	Right of Way
REQ'D	Required
SIM	Similar
TBC	To Be Confirmed
TBD	To Be Determined
TYP	Typical
UNO	Unless Noted Otherwise
VIF	Verify in Field

PROJECT TEAM	
ARCHITECT	Lieux Architects Ltd Attn: R. D. Macpherson 434 Sutherland Drive Toronto, Canada M4G 1K5
	Phone: (416) 466-7764 Email: lieux.architects@lieux.ca
STRUCTURAL ENGINEER	Caledon Structural Consulting Attn: Barry Kozluk 84 Marilyn Street Caledon East, Canada L7C 1H7
	Phone: (416) 561-6432 Email: bp.kozluk@sympatico.ca
DRAWING LIST	
A0.1	Site Keyplan – Building Code Matrix
A0.2	Site Plan
A2.1	Plan – Foundation – Proposed
A2.2	Plan – Ground Floor – Proposed
A2.3	Plan – Roof – Proposed
A3.1	Elevations – East & South – Proposed
A3.2	Elevations – West & North – Proposed
A4.1	Section – Looking East – Proposed

1043 Broadleaf Road

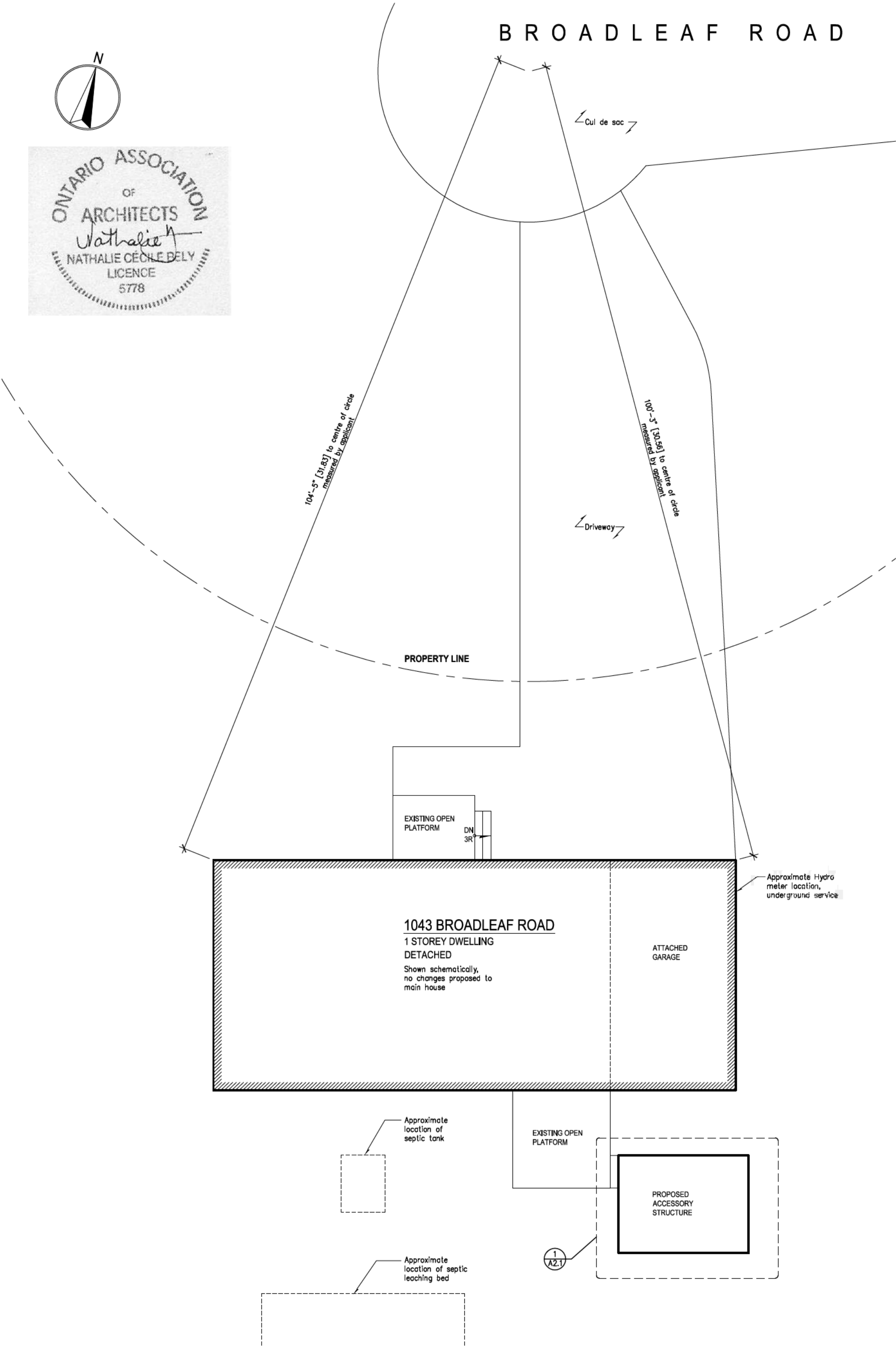
Accessory Structure

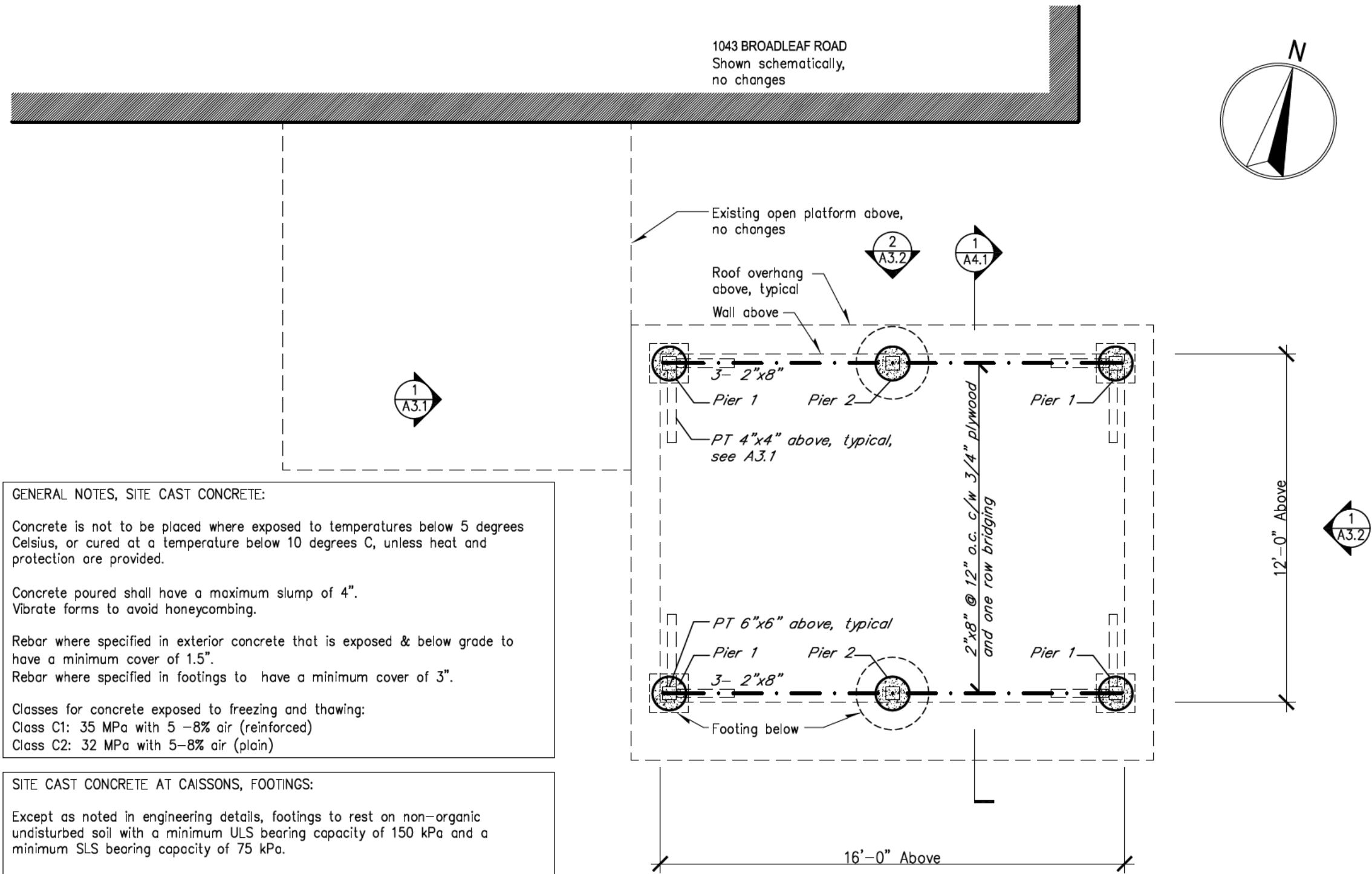
All drawings are the property of the architect and must be returned upon request.

The contractor shall check all dimensions in the field and report any discrepancies between as-built conditions and the drawings to the architect. No work shall commence until such discrepancies are resolved.

All dimensions are given in inches unless otherwise indicated.

Do not scale drawings.





LEGEND	
	EXISTING CONDITION frame / masonry
	NEW CONSTRUCTION w insulation where shown
	BUILT-UP POST
	BEAM ABOVE
	FLOOR DRAIN
	LEVEL CHANGE
	0'-0" ELEVATION MARKER

All dimensions listed are to architectural finishes unless otherwise noted

BEAM BEARING TYPICAL:
Provide minimum 4" solid bearing and secure beam end in place, typical at all beam ends

GENERAL NOTES, SITE CAST CONCRETE:

Concrete is not to be placed where exposed to temperatures below 5 degrees Celsius, or cured at a temperature below 10 degrees C, unless heat and protection are provided.

Concrete poured shall have a maximum slump of 4".
Vibrate forms to avoid honeycombing.

Rebar where specified in exterior concrete that is exposed & below grade to have a minimum cover of 1.5".
Rebar where specified in footings to have a minimum cover of 3".

Classes for concrete exposed to freezing and thawing:
Class C1: 35 MPa with 5-8% air (reinforced)
Class C2: 32 MPa with 5-8% air (plain)

SITE CAST CONCRETE AT CAISSONS, FOOTINGS:

Except as noted in engineering details, footings to rest on non-organic undisturbed soil with a minimum ULS bearing capacity of 150 kPa and a minimum SLS bearing capacity of 75 kPa.

Footing & Foundation concrete: 25 MPa unless otherwise noted. Provide bill of material as delivered.

Site cast concrete footings to be sized and reinforced per the architectural & engineering drawings.

Underside of footings to be minimum 4'-0" below finished grade at exterior foundation conditions. When new footing is jointed to existing footings, align new footings at 4'-0" below finished grade or match existing, whichever is lower.

Step footings to be maximum 24" vertical & minimum 36" horizontal.
Exterior foundation walls: extend minimum 6" above finished grade.

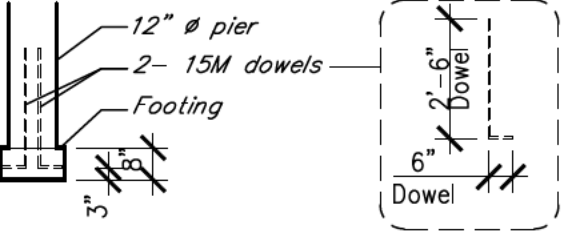
Concrete piers to sizes established on drawings. Concrete piers to be concealed, set behind finished assemblies.

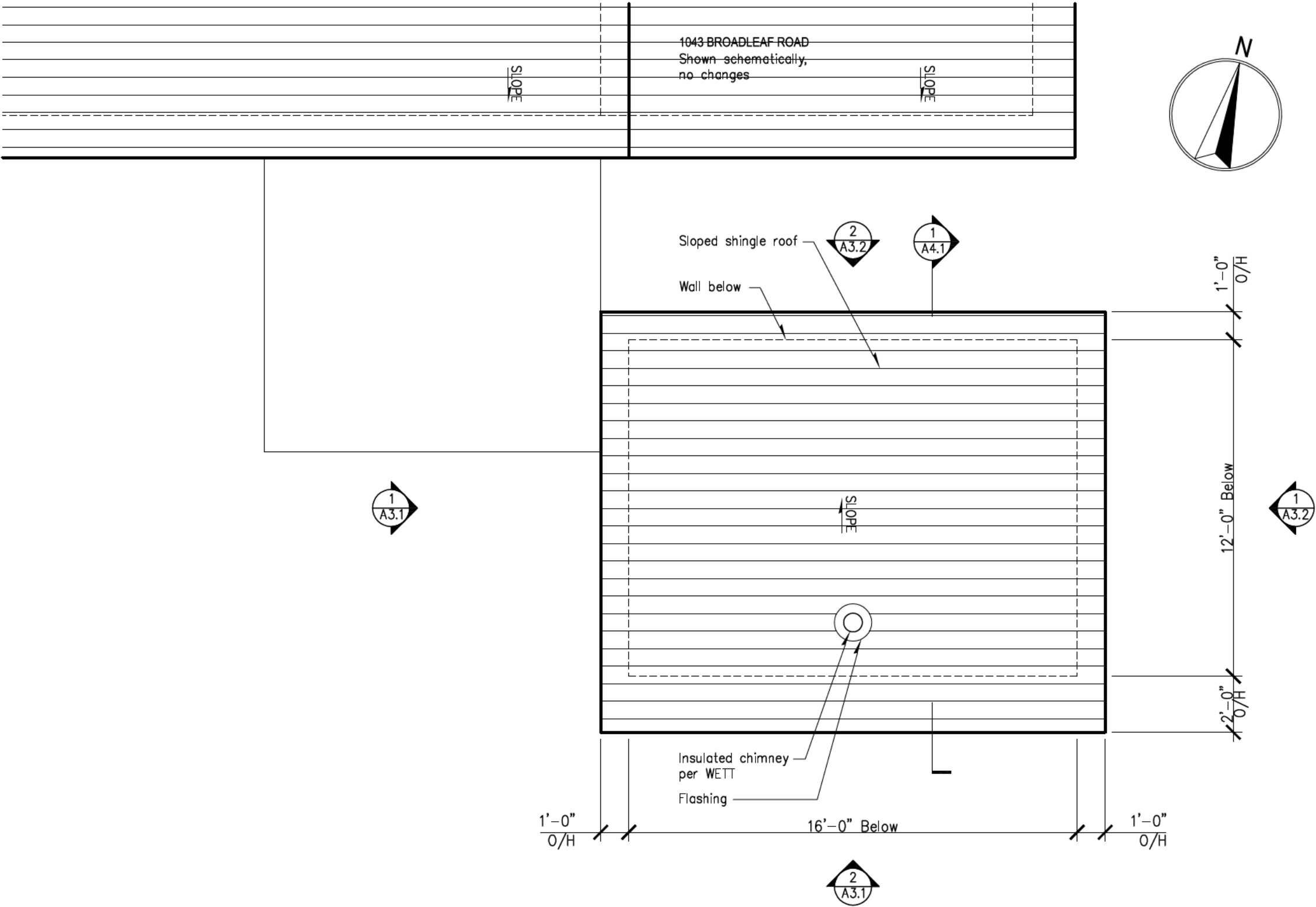
Pier 1:
12"Ø concrete sonotube on 16" x 16" x 8" 25MPa footing to at least 4'-0" below grade on undisturbed non-organic soil with a min bearing capacity of 150kPa, typical

Pier 2:
12"Ø concrete sonotube on BF28 Bigfoot base footing to at least 4'-0" below grade on undisturbed non-organic soil with a min bearing capacity of 150kPa, typical



Footing reinforcing:





LEGEND

EXISTING CONDITION
frame / masonry

NEW CONSTRUCTION
w insulation where shown

BUILT-UP POST

BEAM ABOVE

FD

FLOOR DRAIN

LEVEL CHANGE

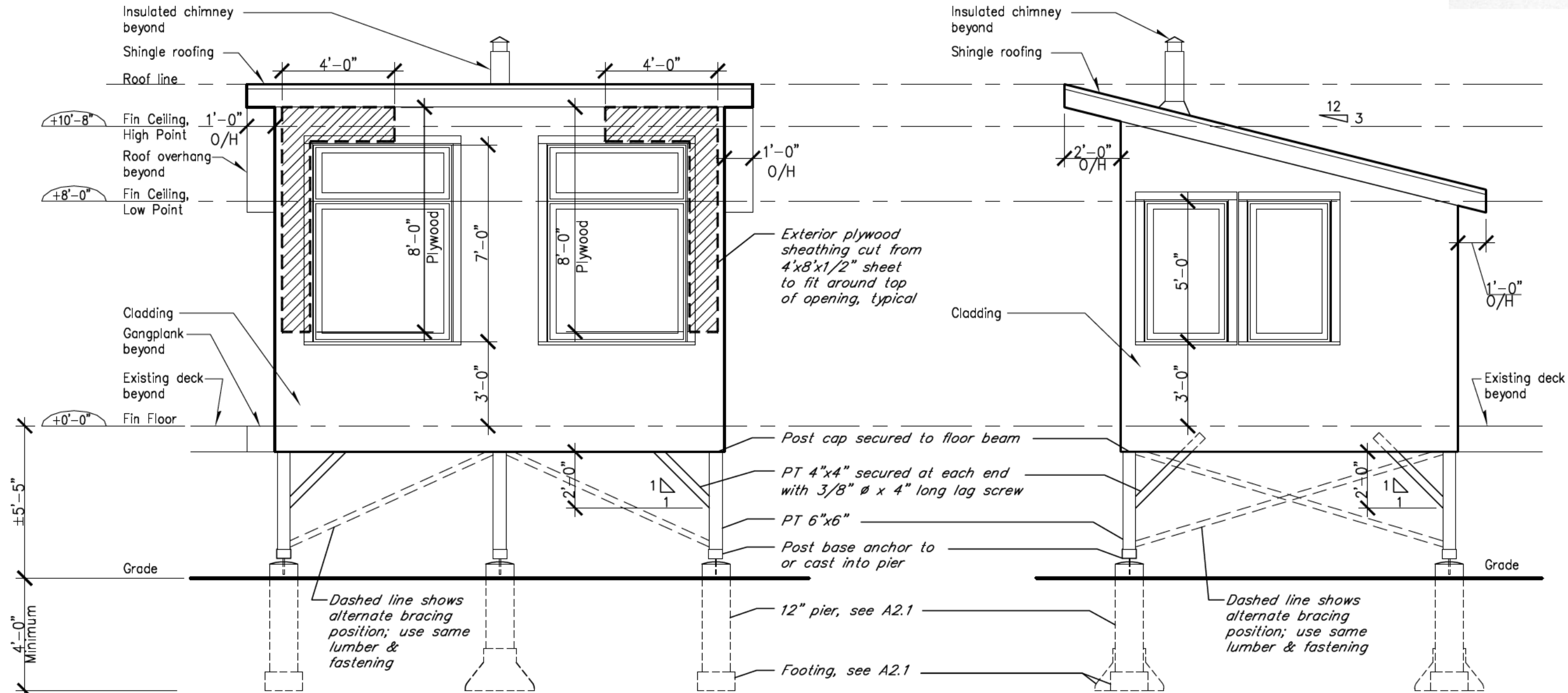
0'-0"

ELEVATION MARKER

All dimensions listed are to architectural finishes unless otherwise noted

BEAM BEARING TYPICAL:
Provide minimum 4" solid bearing and secure beam end in place, typical at all beam ends





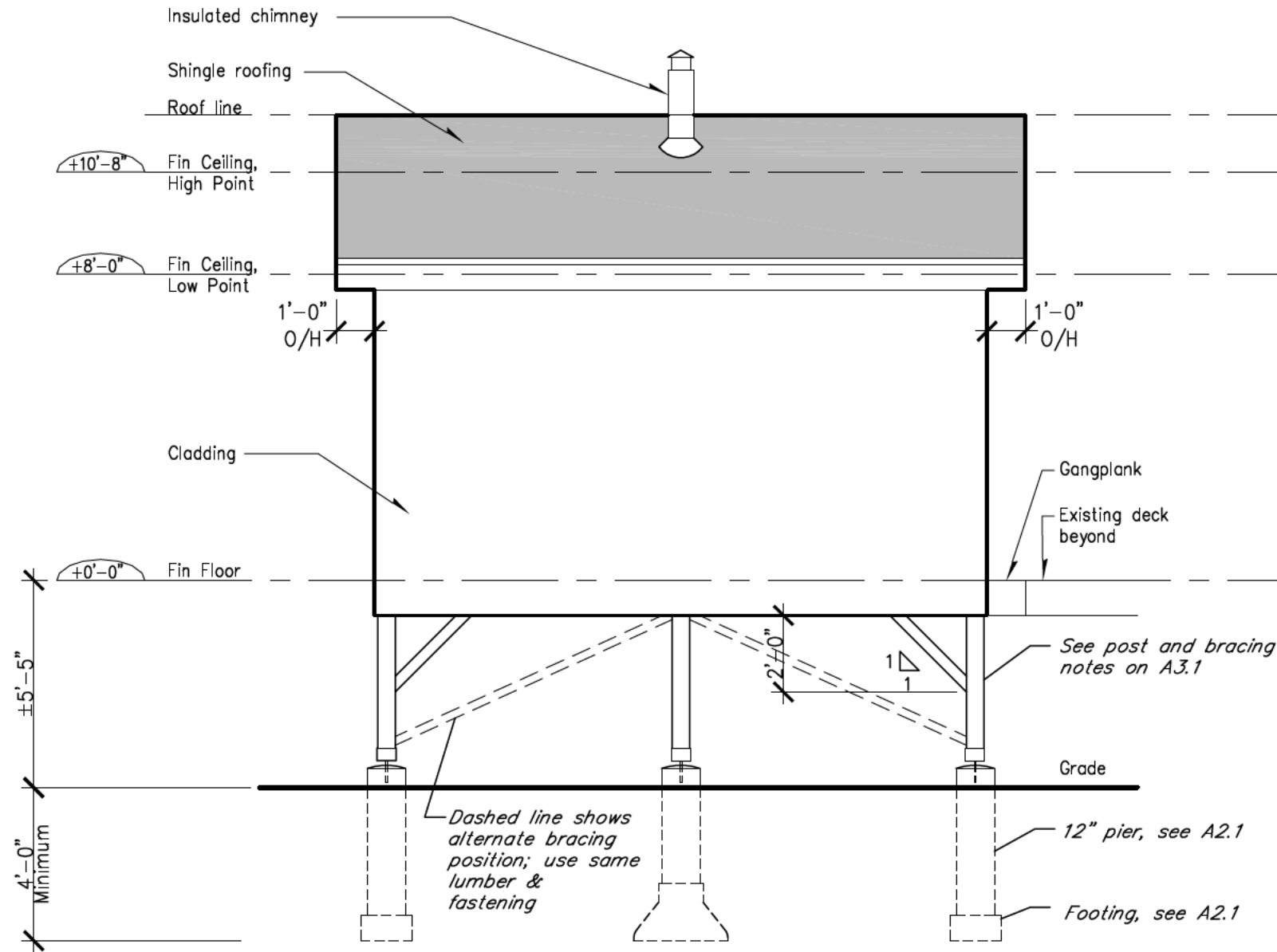
2
A3.1

ELEVATION – SOUTH

1
A3.1

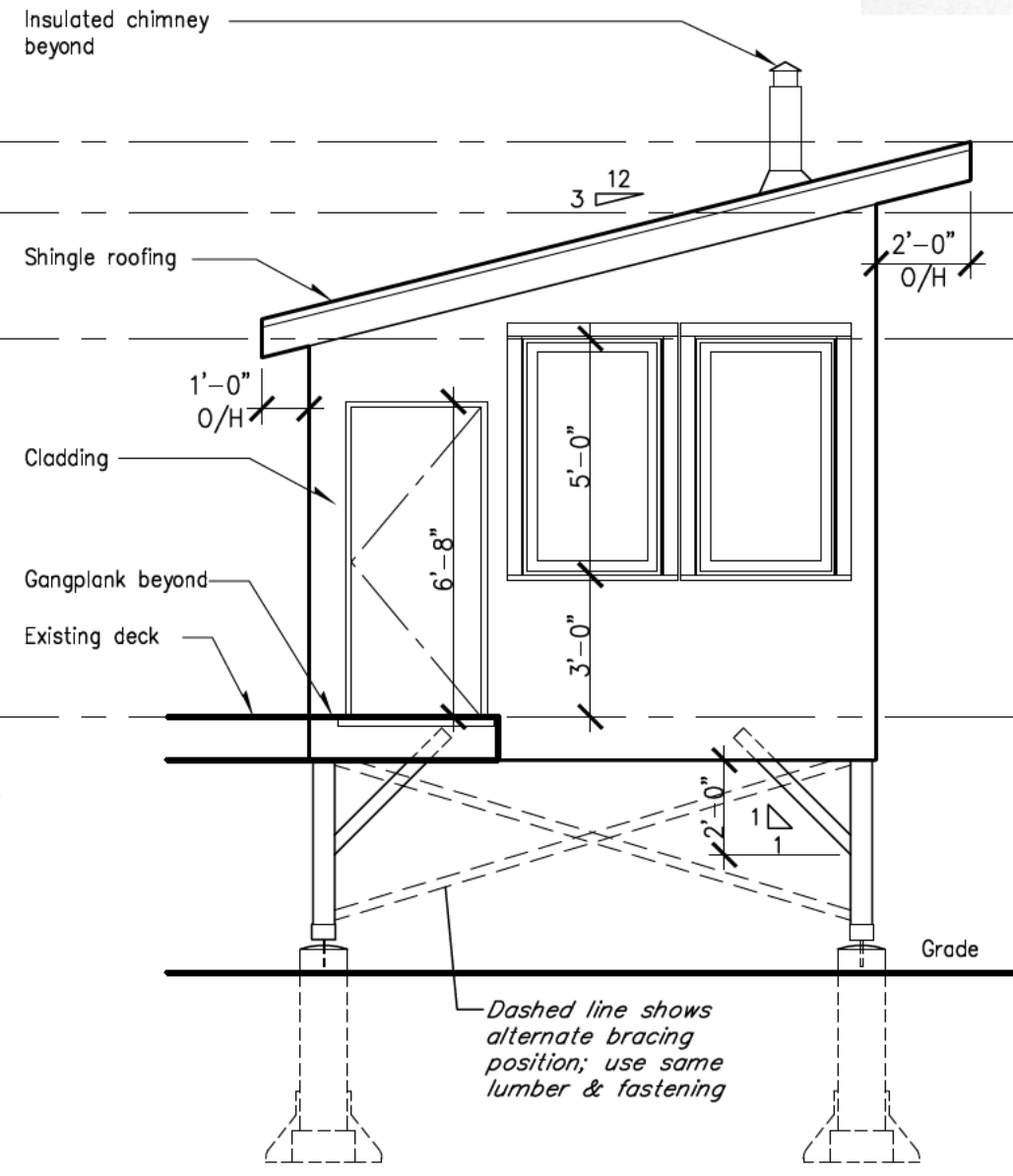
ELEVATION – EAST





2
A3.2

ELEVATION - NORTH



1
A3.2

ELEVATION - WEST



ADLEAF ROAD
chematically,
ies

NEW ROOF ASSEMBLY A

Roof line

+10'-8" Fin Ceiling, High Point

+8'-0" Fin Ceiling, Low Point

1'-0"

3- 2"x8"

One row bridging

+0'-0" Fin Floor

Grade

NEW EXTERIOR WALL ASSEMBLY A, beyond

NEW FLOOR ASSEMBLY A

3- 2"x8"

Post cap secured to floor beam

PT 4"x4" secured at each end with 3/8" ϕ x 4" long lag screw

PT 6"x6"

Post base anchor to or cast into pier

Dashed line shows alternate bracing position; use same lumber & fastening

12" pier, see A2.1

Footing, see A2.1

8'-0"

5'-0"

3'-0"

±5'-5"

4'-0" Minimum

10'-8"

2'-0"

2'-0"

2'-0"

12/3

Asphalt shingles,
5/8" ext plywd sheathing,
2"x8" Joists @ 12" o.c.
Interior finish.
No insul or venting required





Municipality of Highlands East
Building Department
Box 22, 1032 Gooderham Street
Gooderham, Ontario, K0M 1R0
Tel.: (705) 447-0051 Fax: (705) 447-0053
Website: www.highlandseast.ca

Mandatory Inspection Report

Inspection: Final Permit Number: BP-20-133
Property Owner: _____ Inspection Date: Sept 19/24
Contact Name: _____ Contact Number: _____
Property Address: 1083 Broadleaf Ln
Comments: Not to be used for sleeping accomodation

During inspection of the above referenced property, the following items were identified:

Complete

Close file

Instruction for the Owner/Contractor:

- ☐ Proceed with construction and call for next inspection when ready: _____
- ☐ Proceed with construction, however do not cover: _____ will be checked at next inspection
- ☐ Do not proceed with construction, above noted items to be corrected and inspection re-booked.
- ☒ Project completed and file has been closed.

[Signature]
Inspector Signature

Sept 19/24
Date:

Time:

Weather:

SCHEDULE B'

INST.

SS 217

PART 10

R = 75.0'
A = 201.45'
C = 146.13'
N 56° 07' 23" E

R = 75.0'
A = 201.45'
C = 146.13'
N 82° 13' 37" E

PART 9

INST.

PAR

SW CORNER
LOT 32, CON XVI
(PI)

OLD
287.55'
S 18 (B&W)
109.33 (M)
N 20° 50' W
109.01 (A)

N 75° 52' 10" E
213.00'
POST
REFERENCE BEAR

CONCESSION
CONCESSION
INST. 73933

INST.

FROM THE
VING A
IN ON A
MAY 2,

1.07

1.07

INST.

SS 18 (B34) 82.91' N 7° 07' E 188 (B&W)

67

F.

N 69° 10'

N 69° 10'

213.00'

33.15'

N 20° 38' 30" W 290.62'

POST

21

INST.

1043 Broadleaf Road, Wilberforce



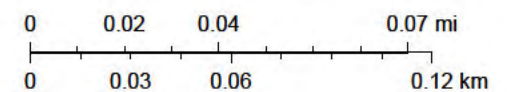
October 15, 2024

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1043 Broadleaf Road, Wilberforce



October 15, 2024

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