

# TROYAUSTEN

## REAL ESTATE TEAM

RE/MAX Professionals North Brokerage  
Independently Owned & Operated



**\$1,595,000**

*Welcome to* 1010 Echo Lane  
on Soyers Lake, Minden



*Troy Austen*  
Sales Representative



**CONTACT DETAILS:**



705-457-9994



info@troyausten.ca

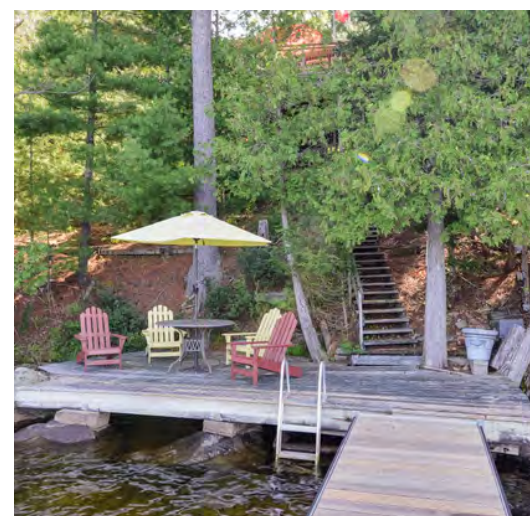


705-455-7653



troyausten.ca









Welcome to your year-round lakeside retreat on Soyers Lake, part of the scenic 5-lake chain in Haliburton County. With 118 ft of weed free waterfront and a very private western exposure, this family-friendly cottage/home offers direct access to swimming, fishing, and boating right from your own dock. With a level parking area, accessing the cottage is easy, making your arrival and departure hassle-free.

Step inside through the covered front porch to discover an open concept layout with a vaulted pine ceiling in the living room, creating a spacious and inviting atmosphere filled with natural light. The sunroom off the dining room is perfect for family game nights, while the primary suite boasts beautiful lake views, a walk-in closet, and a luxurious 4-piece ensuite featuring a freestanding tub and separate shower. The fully finished basement includes an office with a view, a bathroom, and a family room with a walkout to the lake.

Outside, the large back deck and dock overlooking the lake offer perfect spots for relaxation and outdoor gatherings. The lot is landscaped with local granite and perennial gardens, ensuring low maintenance while adding beauty to the surroundings. Only a 15-minute car ride or a scenic boat trip away, the village of Haliburton offers all your essential amenities. Don't miss out on the opportunity to create lasting memories in this idyllic lakeside setting.





# Interior Home Features

Three bedrooms

Three bathrooms

Open concept design with beautiful lake views and vaulted pine ceiling in the living room

Sunroom off the dining room

Primary suite with sprawling views, ensuite with free standing tub, and walk in closet

Full finished basement with a walkout to the lake

Upgrades including: new furnace(2021), new kitchen oven (2021)



# Exterior Features

118ft of clean shoreline

Located on the 5-lake chain

Western Exposure

Low maintenance landscaped lot with perennial gardens and granite

Fully winterized for year-round enjoyment

Only a 15-minute car ride or a scenic boat trip away, the village of Haliburton





# 1010 ECHO Lane, Minden, Ontario K0M 2K0

Listing

Client Full

**Active / Residential**

**1010 ECHO Ln Minden**

Listing ID: 40559714

Price: **\$1,595,000**



## Haliburton/Minden Hills/Minden Bungalow/House



Water Body: **Soyers Lake**

Type of Water: **Lake**

|          | Beds | Baths | Kitch |
|----------|------|-------|-------|
| Basement | 1    | 1     |       |
| Main     | 2    | 2     | 1     |

Beds (AG+BG): **3 (2 + 1)**  
Baths (F+H): **3 (2 + 1)**  
SF Fin Total: **2,743**  
AG Fin SF Range: **1001 to 1500**  
AG Fin SF: **1,399/Other**  
BG Fin SF: **1,343/Other**  
DOM: **0**  
Common Interest: **Freehold/None**  
Tax Amt/Yr: **\$5,547.61/2023**

### Remarks/Directions

Public Rmks: **Welcome to your year-round lakeside retreat on Soyers Lake, part of the scenic 5-lake chain in Haliburton County. With 118 ft of weed free waterfront and a very private western exposure, this family-friendly cottage/home offers direct access to swimming, fishing, and boating right from your own dock. With a level parking area, accessing the cottage is easy, making your arrival and departure hassle-free. Step inside through the covered front porch to discover an open concept layout with a vaulted pine ceiling in the living room, creating a spacious and inviting atmosphere filled with natural light. The sunroom off the dining room is perfect for family game nights, while the primary suite boasts beautiful lake views, a walk-in closet, and a luxurious 4-piece ensuite featuring a freestanding tub and separate shower. The fully finished basement includes an office with a view, a bathroom, and a family room with a walkout to the lake. Outside, the large back deck and dock overlooking the lake offer perfect spots for relaxation and outdoor gatherings. The lot is landscaped with local granite and perennial gardens, ensuring low maintenance while adding beauty to the surroundings. Only a 15-minute car ride or a scenic boat trip away, the village of Haliburton offers all your essential amenities. Don't miss out on the opportunity to create lasting memories in this idyllic lakeside setting.**

Directions: **Soyers Lake Road to Keewaydin Rd to Echo Lane to 1010**

### Waterfront

Waterfront Type: **Direct Waterfront**  
Waterfront Features: **Beach Front, Stairs to Waterfront**  
Dock Type: **Private Docking**  
Shoreline: **Rocky, Sandy**  
Shore Rd Allow: **Owned**  
Channel Name:

Water View: **Direct Water View**

Boat House:  
Frontage: **118.00**  
Exposure: **West**  
Island Y/N: **No**

### Exterior

Exterior Feat: **Deck(s), Fishing, Landscape Lighting, Landscaped, Lighting, Porch, Year Round Living**  
Construct. Material: **Wood**  
Shingles Replaced:  
Year/Desc/Source: **//**  
Property Access: **Private Road, Year Round Road**  
Other Structures: **Shed**  
Garage & Parking: **Private Drive Single Wide**  
Parking Spaces: **3**  
Services: **Cable TV Available, Cell Service, Electricity**  
Water Source: **Lake/River**  
Lot Size Area/Units: **0.311/Acres**  
Lot Front (Ft): **118.00**  
Location: **Rural**  
Area Influences: **Golf, Hospital, Lake/Pond, Landscaped, Library, Marina, Place of Worship, Playground Nearby, Schools, Shopping Nearby, Trails**  
View: **Lake, Trees/Woods**  
Topography:  
Restrictions:  
School District: **Trillium Lakelands District School Board**

Foundation: **Poured Concrete**  
Roof: **Shingles**  
Prop Attached: **Detached**  
Apx Age: **6-15 Years**  
Rd Acc Fee:  
Winterized: **Fully Winterized**  
Garage Spaces:  
Sewer: **Septic**  
Acres Rent:  
Lot Shape:  
Land Lse Fee:  
Retire Com:  
Fronting On: **West**  
Exposure: **West**

Driveway Spaces: **3.0**  
Water Tmnt: **Sediment Filter, UV System**  
Acres Range: **< 0.5**  
Lot Depth (Ft): **0.00**  
Lot Irregularities:

### Interior

Interior Feat: **Central Vacuum Roughed-in, On Demand Water Heater, Water Heater Owned**  
Basement: **Full Basement**  
Basement Fin: **Fully Finished**  
Basement Feat: **Walk-Out**  
Laundry Feat: **Main Level**  
Cooling: **None**  
Heating: **Forced Air-Propane**

Fireplace: **2/Propane**  
Under Contract: **Propane Tank**  
Inclusions: **Other**  
Add Inclusions: **See attached chattels list**  
Exclusions: **See attached chattels list**

FP Stove Op:  
Contract Cost/Mo:

### Property Information

Common Elem Fee: **No**  
Legal Desc: **LT 3 PL 536 S/T H209118; S/T EXECUTION 94-0000956, IF ENFORCEABLE; MINDEN HILLS**  
Zoning: **SR**  
Assess Val/Year: **\$686,000/2023**  
PIN: **391910341**  
ROLL: **461603200045400**  
Possession/Date: **Flexible/**

Local Improvements Fee:  
Survey: **Available/**  
Hold Over Days:  
Occupant Type: **Owner**  
Deposit: **min 5%**

### Brokerage Information

List Date: **03/22/2024**  
List Brokerage: **[RE/MAX Professionals North, Brokerage, Haliburton \(Maple Ave\)](#)**

Source Board: The Lakelands Association of REALTORS®  
Prepared By: Troy Austen, Salesperson  
Date Prepared: 03/22/2024

\*Information deemed reliable but not guaranteed.\* CoreLogic Matrix  
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#### Rooms

#### Listing ID: 40559714

| Room                     | Level    | Dimensions        | Dimensions (Metric) | Room Features |
|--------------------------|----------|-------------------|---------------------|---------------|
| Bathroom                 | Main     | 5' 4" X 6' 6"     | 1.63 X 1.98         | 2-Piece       |
| Primary Ensuite Bathroom | Main     | 11' 0" X 9' 4"    | 3.35 X 2.84         | 5+ Piece      |
| Bedroom Primary          | Main     | 15' 8" X 13' 8"   | 4.78 X 4.17         |               |
| Bedroom                  | Main     | 11' 0" X 11' 0"   | 3.35 X 3.35         |               |
| Dining Room              | Main     | 15' 0" X 11' 10"  | 4.57 X 3.61         |               |
| Kitchen                  | Main     | 12' 1" X 11' 11"  | 3.68 X 3.63         |               |
| Living Room              | Main     | 14' 4" X 23' 2"   | 4.37 X 7.06         |               |
| Sunroom                  | Main     | 13' 0" X 11' 6"   | 3.96 X 3.51         |               |
| Bathroom                 | Basement | 9' 0" X 10' 4"    | 2.74 X 3.15         | 4-Piece       |
| Bedroom                  | Basement | 11' 11" X 11' 6"  | 3.63 X 3.51         |               |
| Office                   | Basement | 12' 11" X 10' 11" | 3.94 X 3.33         |               |
| Family Room              | Basement | 18' 7" X 23' 0"   | 5.66 X 7.01         |               |
| Mud Room                 | Basement | 4' 5" X 14' 0"    | 1.35 X 4.27         |               |
| Workshop                 | Basement | 9' 4" X 19' 9"    | 2.84 X 6.02         |               |
| Den                      | Basement | 10' 7" X 12' 4"   | 3.23 X 3.76         |               |

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# Chattels

## Included

- All Beds
- Basement and Living Room Chairs
- Couches
- Shelves
- Other items unless noted in exclusion list

## Excluded

- Personal Items
- All outdoor furniture
- Hutch in dining room
- Hutch in basement hallway
- Moustache handle dresser
- Marble end tables
- Wooden arm chair in living room
- Coffee table in living room
- Dresser in basement bedroom
- Some tools and fishing gear
- Small writing desk in basement
- Fine China, Crystal and silverware
- Some kitchen items - to be determined



Seller



Buyer



# Additional Information

- Hydro costs per year - \$1800
- Propane Supplier - Budget
- Propane costs per year - \$2800
- Satellite provider - Bell
- Internet provider - Bell/Rogers
  - Highspeed available
- Cellphone service - Yes
- Septic
  - Installed - 2011
  - Township inspected - 2023
  - Last pumped by: Mitch Stevens - 15/06/2023
- Water Treatment System - Yes
- Winterized - Yes
- Age of building - 13 years
- Age of roof - 13 years
- Insurance company - Floyd Hall
- Driveway plowing costs - \$300
- New floating docks (2020) - 2 x 16' sections
- New furnace (2021)
- New kitchen over (2021)
- Extensive landscaping (all natural granite)

*Details herein provided by the Seller for information purposes only.  
Do not include in an Agreement of Purchase and Sale.*





# SEWAGE SYSTEM INSTALLATION REPORT

mi/29/99  
FILE NUMBER

DATE JUNE 3, 2000

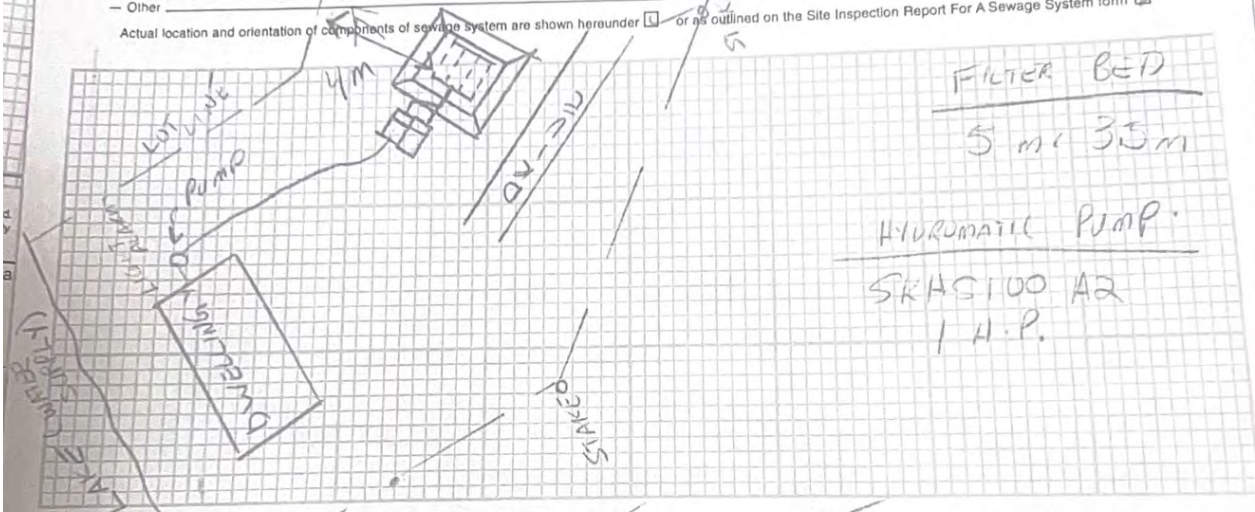
## REPORT

INSTALLED BY: T.M.S. SERVICES

Work authorized by Site Inspection Report for a sewage system has been satisfactorily completed and includes:

- Septic Tank Holding Tank of working capacity of 360 litres constructed of steel/concrete/berglass, Manufacturer PVC
- Distribution Pipe, Type PVC; Absorption Trench System ☐
- Filter Bed System ☐ Filter Bed Area 17.5 sq. m.; Contact Area 17.5 sq. m.
- Total 17.6 Linear Metres in 4 runs of 4.4 metres and fed by gravity ☒; Siphon ☐; or Pump ☐
- Size of System based on 2 bedrooms and/or 8.5 fixture units. Commercial details N/A
- Area of Building: 4200 m<sup>2</sup>
- Other

Actual location and orientation of components of sewage system are shown hereunder ☒ or as outlined on the Site Inspection Report For A Sewage System form ☒



The following work remains to be completed. Backfill system and sod or seed ☐; Stabilize all sloped surfaces ☐; Finish grading to shed run-off and divert water around leaching bed ☐; Other

## INSTALLATION REPORT

Under the Building Code Act and regulations and subject to the limitations thereof, a permit is hereby issued to

TERRY + SUSAN HILL

For the use and operation of the Class 4

Sewage System Installed / Altered under Site Inspection Report #

mi/29/99

Such system being located on Lot 31

Conc 9

Plan 356

Sub. lot 3

Roll No. 4616032000

Township / Municipality MINDEN

County HALIBURTON

Emergency# 911

45400

Inspected and Recommended by Teresa Stuchala  
(Appointed Inspector - Part 8)

Date June 5, 2000

Issued [Signature]

(Designated Sewage Inspector - Part 8)

NOTE: No change can be made to any building(s) or structures in connection with which this sewage system is used, if the operation or effectiveness of the sewage system will be affected by the change, unless a Site Inspection Report is obtained.

I-LC-145-99





Haliburton, Kawartha, Pine Ridge District

# Health Unit

| OFFICE USE ONLY    |                         |
|--------------------|-------------------------|
| File Number        | <u>M1/5/10 5A-17-10</u> |
| Fee Receipt Number | <u>6194</u>             |
| Date Fee Received  | <u>April 9/10</u>       |

## Application for a Review of Sewage Disposal System Requirements for: Building Additions, Renovations, and Additional Buildings

Owner: TERRY HILL Phone: 705 457 4559  
 Address: 1010 ECHO LAKE RD.  
(number) (street) (city, town, etc.) (postal code)  
 Township Lot #: 31 Concession #: 9 Township: MINDEN HILLS  
 Plan #: 356 Sub Lot #: 3 Lot Size: \_\_\_\_\_ Civic (Emergency, Fire, 911) #: 1010  
 Type of Building: SINGLE FAMILY DWELLING  
(single family dwelling, seasonal dwelling, type of business)  
 Water Supply: Drilled Well (Depth of Casing \_\_\_\_\_ metres)  
 Dug or Bored Well \_\_\_\_\_ Other LAKE

Describe proposed changes: (draw diagram on reverse)

TAKE DOWN EXISTING COTTAGE AND BUILD A NEW ONE

### Existing Sewage Disposal System

What type of sewage system is serving premises? CLASS 4 FILTER BED M1/29/99  
 What year was the system installed? 2000 Owner at time: YES File Number: M1/5/10  
 Please attach a copy of the Installation Report/Use Permit issued for your existing system. If this cannot be submitted, and the size of the sewage system needs to be determined, the owner may be required to:

- 1) Uncover the top of the septic tank, so dimensions may be obtained.
- 2) Indicate weeping tile location in relation to the additions.
- 3) Uncover all or part of the leaching bed.

**NOTE:** Upgrading or replacement will be required if the existing septic system will have its performance level reduced due to the proposed additions or changes.

### Existing Use

State the number of:

| Bedrooms | Showers & Bathtubs | Wash Basins | Laundry Units | Toilets  | Kitchen Sinks | Hot Tubs* | Swimming Pools* | Water Softeners* |
|----------|--------------------|-------------|---------------|----------|---------------|-----------|-----------------|------------------|
| <u>2</u> | <u>1</u>           | <u>1</u>    | <u>1</u>      | <u>1</u> | <u>1</u>      | <u>—</u>  | <u>—</u>        | <u>—</u>         |

8.5 Fixtures unitsTotal Area of Living Space on Property (includes guest cabins, bunkies, etc.) 100 square metres

\* Note These items should not drain water to a sewage disposal system.

### Proposed Use

State the number of:

| Bedrooms | Showers & Bathtubs | Wash Basins | Laundry Units | Toilets  | Kitchen Sinks | Hot Tubs* | Swimming Pools* | Water Softeners* |
|----------|--------------------|-------------|---------------|----------|---------------|-----------|-----------------|------------------|
| <u>2</u> | <u>2</u>           | <u>2</u>    | <u>1</u>      | <u>2</u> | <u>1</u>      | <u>—</u>  | <u>—</u>        | <u>—</u>         |

Total Area of Living Space on Property (includes guest cabins, bunkies, etc.) 139 square metres

\* Note These items should not drain water to a sewage disposal system

**THE REVERSE SIDE OF THIS APPLICATION MUST BE COMPLETED**



MI/29/99



April 9, 2010

Terry Hill  
1010 Echo Lane Road  
Minden ON K0M 2K0

Dear Mr. Hill

**RE: APPLICATION FOR A REVIEW OF SEWAGE DISPOSAL SYSTEM REQUIREMENTS  
FOR: BUILDING ADDITIONS, RENOVATIONS, AND ADDITIONAL BUILDINGS  
LOT 31, CONCESSION 9, MUNICIPAL ADDRESS 1010  
TOWNSHIP of Minden, FILE NO: 5A-17-10 (MI/29/99)**

Please be advised we have assessed your application for an addition to your dwelling and made a site inspection regarding the sewage disposal system.

The sewage system (copy attached) can accommodate this proposed addition. The items under A, B & C are the total items proposed for the entire property, including this proposal. (Note: This includes bunkies, guest cabins, basements, etc.).

A. No. of bedrooms 2

B. Fixture count 15

C. Living area 139 m<sup>2</sup>

*2400 L/TANK  
= 14 F.B.  
3600 + 17 installed  
OK.*

*→ REALLY 21.5 F.U.*

You should have the septic tank pumped by a licensed sewage hauler and check the internal components, if not done recently. Section 8.9.3.4. Division B of the Ontario Building Code requires that a septic tank be cleaned when the sludge and scum layers occupy 1/3 of the operating capacity of the tank. For a holding tank, it requires pumping once it is full.

*10-05-14 Spoke to Ken Jones Minden.*

*His plans show: 1 FULL BATHROOM*

*1 TOILET + 1 WASHERASIN.*

*1 FULL BATHROOM WITH EXTRA SHOWER. 7.5  
+ Laundry + Kitchen = 3*

*TOTAL 21.5 F.U.*

*Emailed Ken  
System O.K.*

*Tom  
See Back Page*

**YOUR HEALTH PARTNER FOR LIFE**

**MAIN OFFICE**  
200 Rose Glen Road  
Port Hope, Ontario L1A 3V6  
(905) 885-9100  
Fax: (905) 885-9551

**BRIGHTON**  
Box 127  
35 Alice Street  
Brighton, Ontario K0K 1H0  
(613) 475-0933  
Fax: (613) 475-1455

**CAMPBELLFORD**  
Box 449  
22 Daxsee Avenue South  
Campbellford, Ontario K0L 1L0  
(705) 653-1550  
Fax: (705) 653-3114

**HALIBURTON**  
Box 570  
191 Highland Street, Unit 301  
Haliburton, Ontario K0M 1S0  
(705) 457-1391  
Fax: (705) 457-1336

**LINDSAY**  
108 Angeline Street South  
Lindsay, Ontario K9V 3L5  
(705) 324-3569  
Fax: (705) 324-0455



HKPR

HALIBURTON, KAWARTHA, PINE RIDGE DISTRICT HEALTH UNIT

M1/29/96

UPDATER

M-22-96

FILE NUMBER

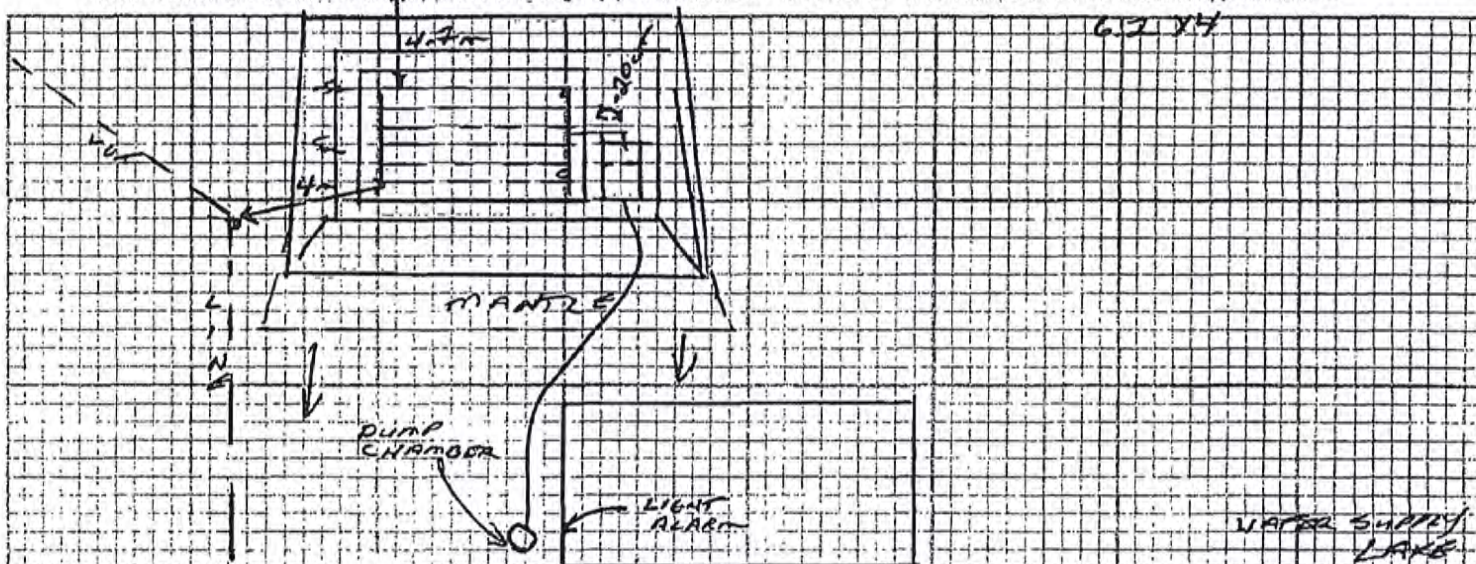
## SEWAGE SYSTEM INSPECTION REPORT AND USE PERMIT

## REPORT

DATE SEPT/9/97INSTALLED BY: B. BEACH

Work authorized by certificate of approval has been satisfactorily completed and includes

- Septic Tank/Holding Tank of working capacity of 3600 litres constructed of steel/concrete/fibreglass, Manufacturer BROOKLIN
  - Distribution Pipe. Type          Absorption Trench System ☐
  - Filter Bed System ☒ Filter Bed Area 248 sq. m.; Contact Area 248 sq. m
  - Total 32.4 Linear Metres in 6 runs of 5.4 metres and fed by gravity ☐; Siphon ☐; or Pump ☒
  - Size of System based on 3 bedrooms and/or 9.5 fixture units Commercial details
  - Other SPHOAI HYDROMATIC PUMP / FILE PROVIDED
- Actual location and orientation of components of sewage system are as shown hereunder ☒ or as outlined on the Certificate of Approval form ☐

SCALE 1 square equals approx          metre.

The following work remains to be completed Backfill system and sod or seed ☒ Stabilize all sloped surfaces ☒ Finish grading to shed run-off and divert water around leaching bed ☒ Other PUMP ALARM MAY NEED HYDRO INSPECTION

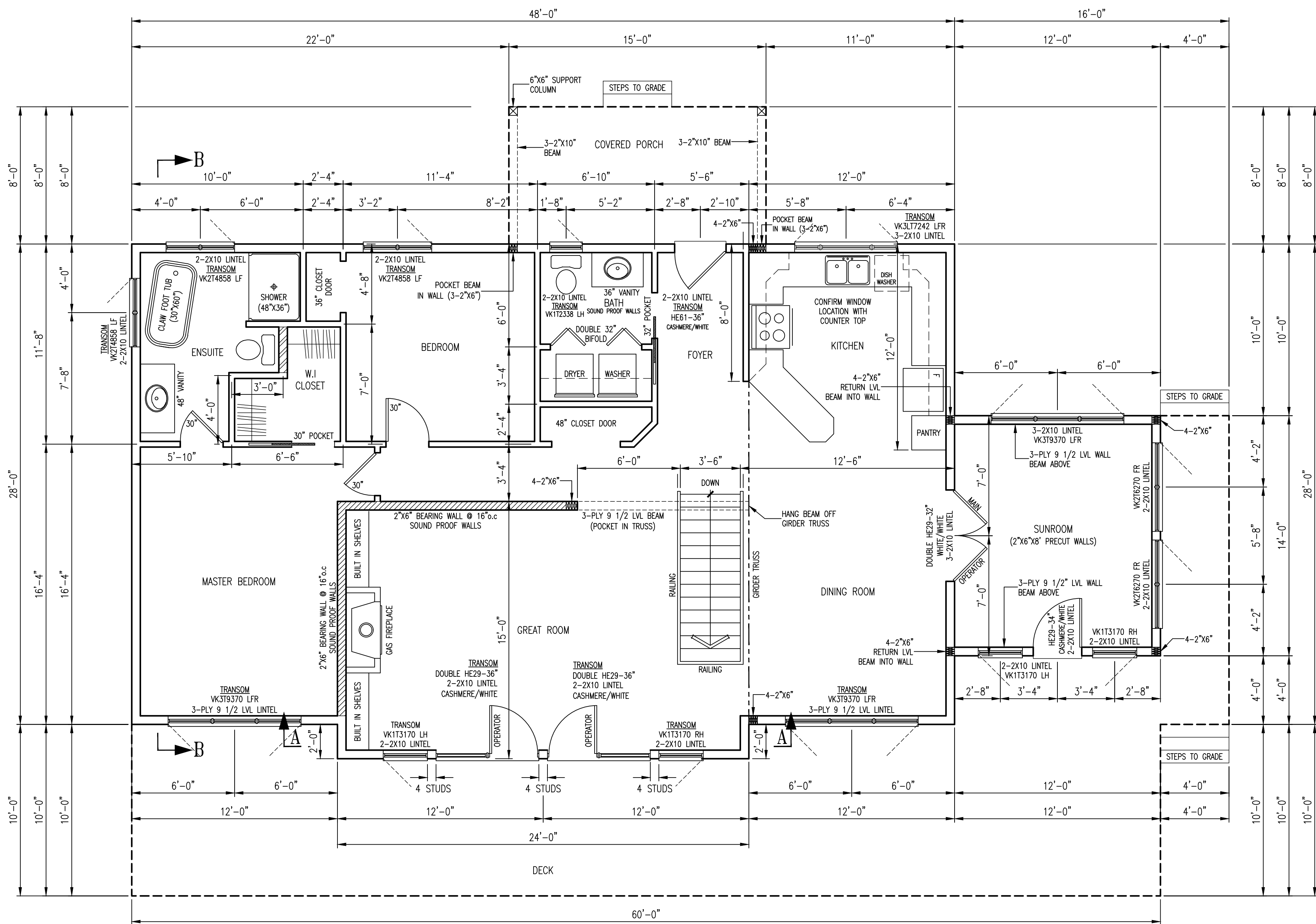
## USE PERMIT

Under section 78 of the Environmental Protection Act, 1990 and regulations and subject to the limitations thereof, a permit is hereby issued to

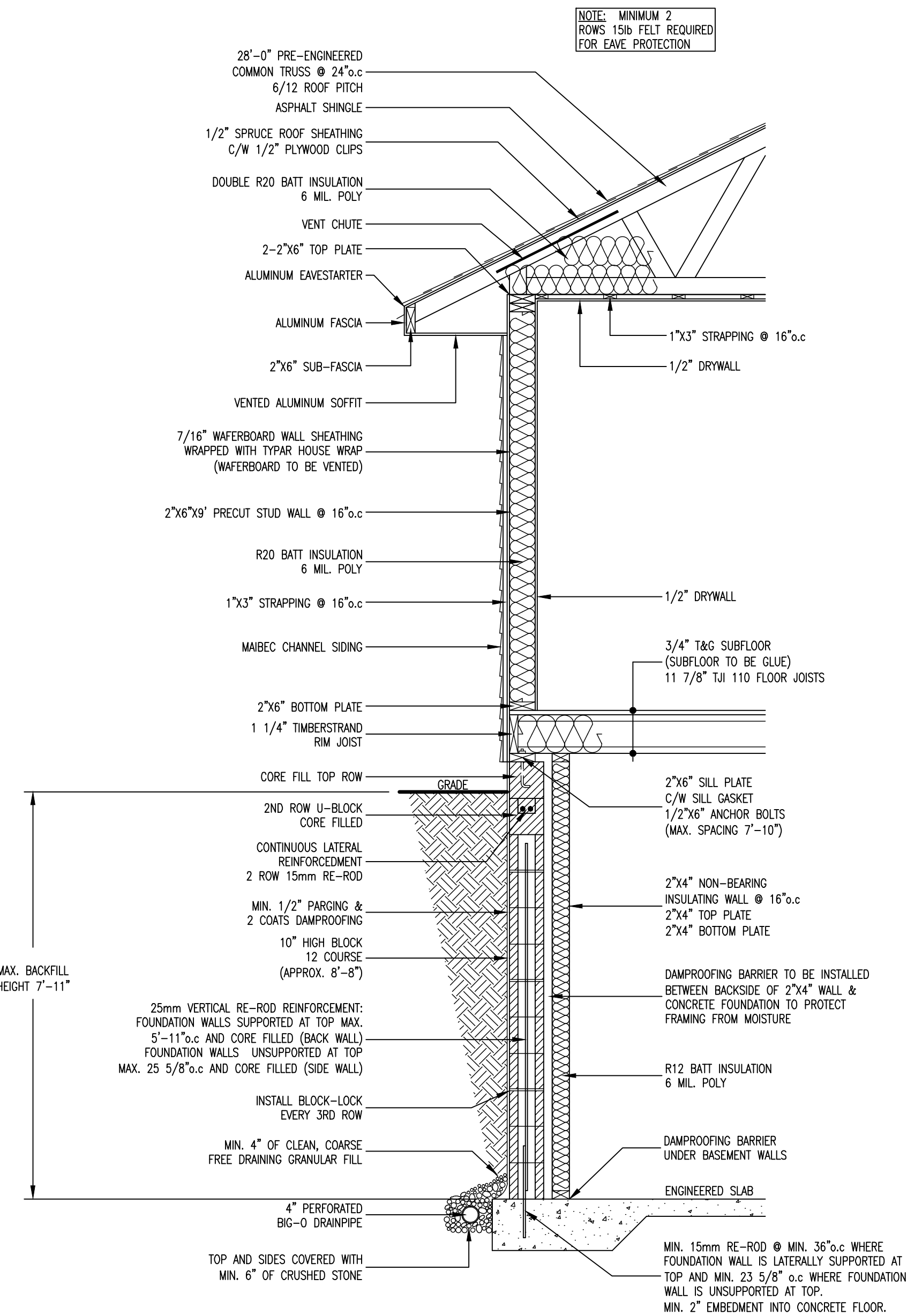
TERRY + SUE HILLfor the use and operation of the Class 4 Sewage System Installed/Altered under Certificate of Approval # M-22-96such system being located on Lot 31 Conc 9 Plan 536 Sub lot 3Township/Municipality MINNEN County HALIBURTONInspected and Recommended by [Signature]DATE SEP 9/97 Issued [Signature]  
(Director)

NOTE Section 76 of the Act provides that no change can be made to any building(s) or structures in connection with which this sewage system is used, if the operation or effectiveness of the sewage system will be affected by the change, unless a Certificate of Approval is obtained





MAIN FLOOR PLAN



TYPICAL WALL SECTION

SCALE: 1/2"=1'-0"

GENERAL NOTES:

1. CONTRACTORS ARE RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. REPORT ALL INCONSISTENCIES TO HALIBURTON LUMBER DESIGN.

2. CONFIRM ALL DETAILS NOT SHOWN WITH HALIBURTON LUMBER DESIGN. NON-APPROVED DETAILS MAY BE REQUIRED TO BE CHANGED.

3. ANY SUBSTITUTION OF MATERIALS MUST BE APPROVED BY HALIBURTON LUMBER DESIGN.

DECK GUARDS:

1. DECK GUARDS TO MEET O.B.C. REQUIREMENTS OF PART 9 SECTION 9.8 AND SB-7

2. NO RAILING REQ'D IF WALKING SURFACE OF DECK IS NOT MORE THAN 23 5/8" ABOVE FINISHED GRADE

3. RAILINGS TO BE MIN. 2'-11" HIGH WHERE THE WALKING SURFACE OF THE DECK IS NOT MORE THAN 5'-11" ABOVE FINISHED GRADE O.B.C. PART 9.8.8.3.

4. RAILING TO BE MIN. 3'-6" HIGH WHERE THE WALKING SURFACE OF THE DECK IS MORE THAN 5'-11" ABOVE FINISHED GRADE O.B.C. PART 9.8.8.3.

4. OPENINGS THRU ANY RAILINGS SHALL BE OF A SIZE TO PREVENT THE PASSAGE OF A SPHERICAL OBJECT A DIAMETER OF MORE THAN 4" O.B.C. PART 9.8.8.5.

SMOKE ALARMS:

1. SMOKE ALARMS TO BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND ARTICLE 9.10.19 O.B.C.

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|

REVISIONS



PHONE (705) 457 - 2510  
FAX (705) 457 - 1591  
E-MAIL hallumber@halhinet.on.ca

**HALIBURTON LUMBER**  
& ENTERPRISES LIMITED

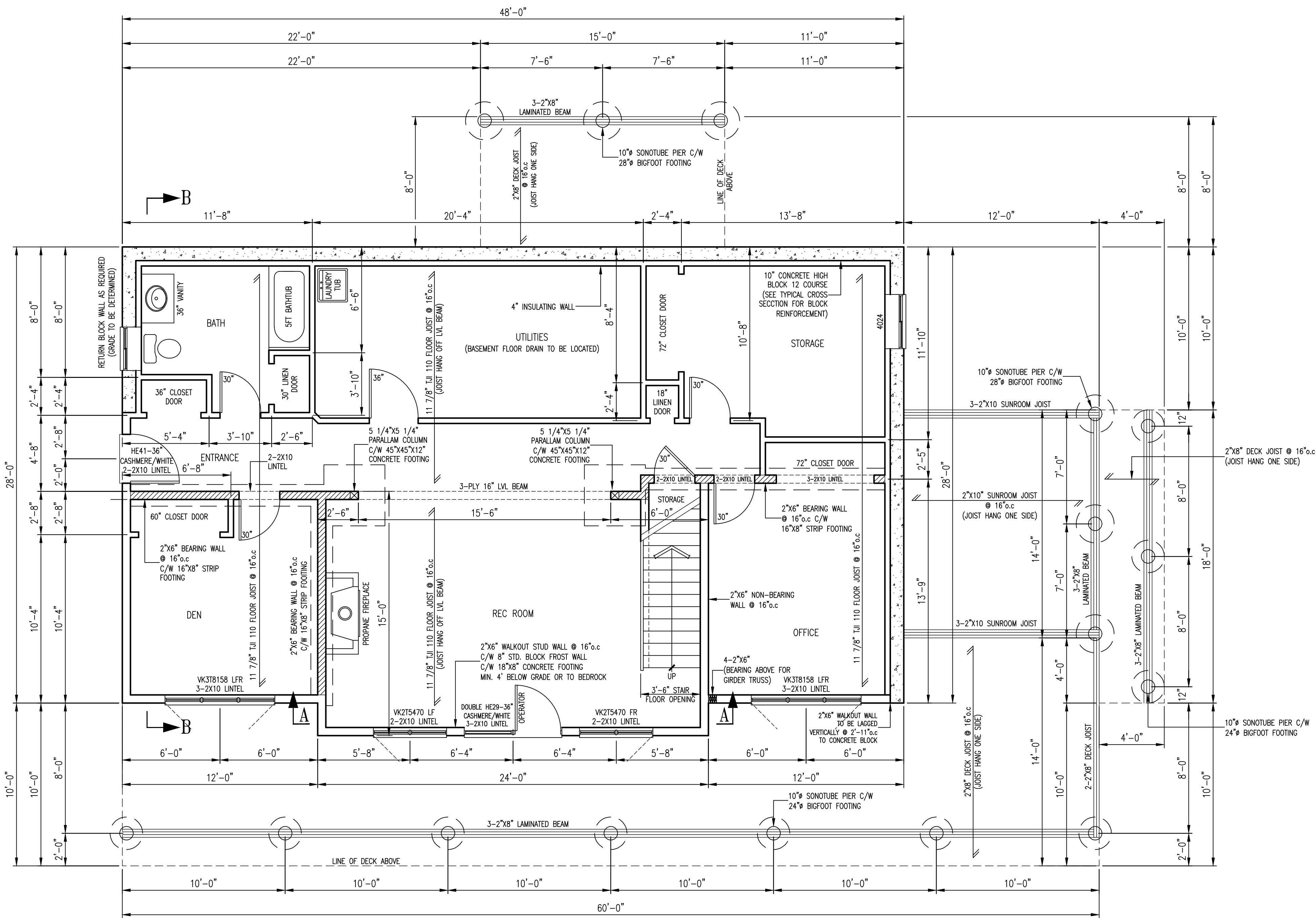
BOX 534  
HALIBURTON, ON  
K0M 1S0

CUSTOMER:  
**TERRY & SUSAN HILL**

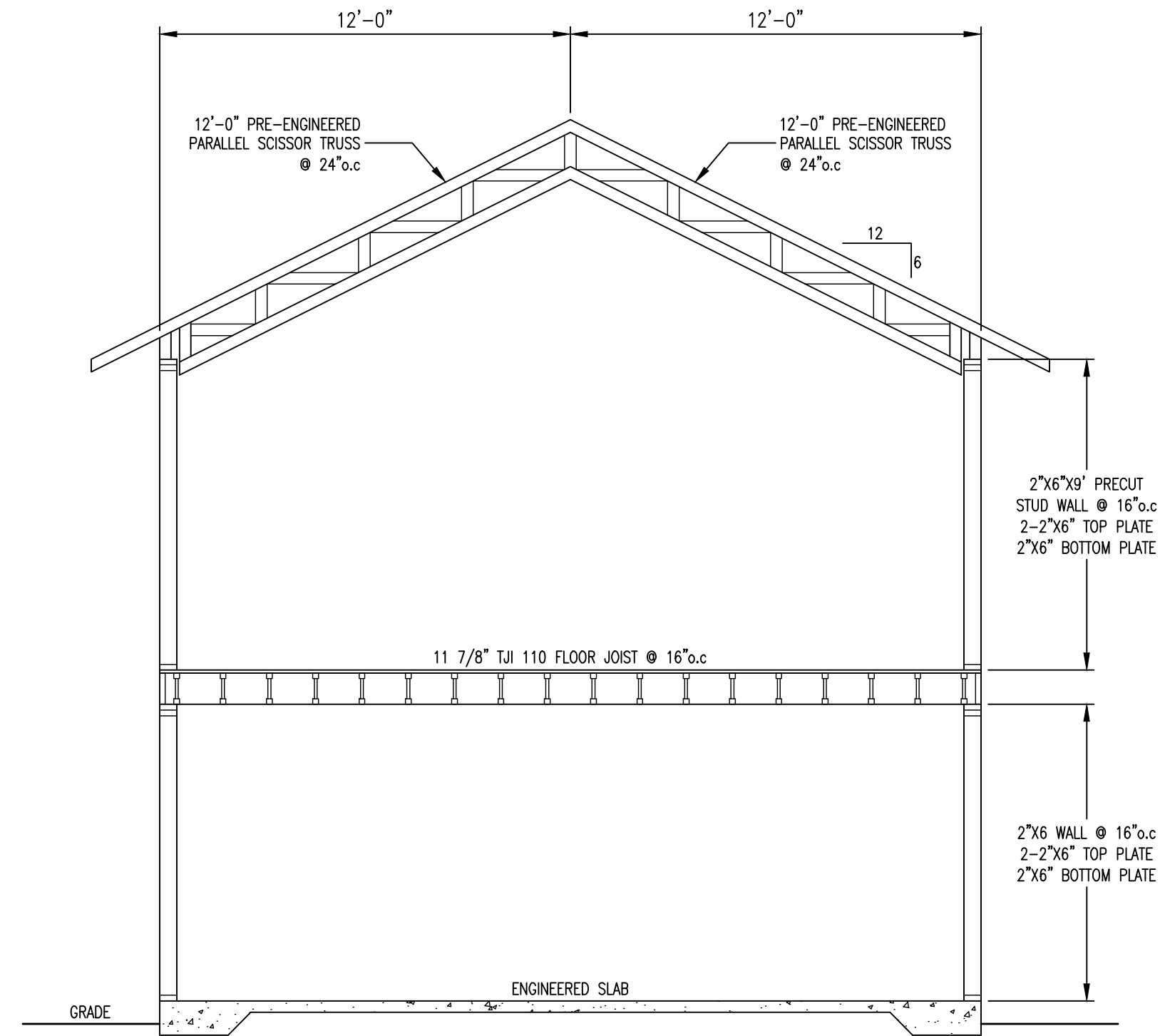
LOCATION:

|                    |                        |                  |
|--------------------|------------------------|------------------|
| HOME #:            | COTTAGE #:             | OTHER #:         |
| 905 - 473 - 9870   | 457 - 4559             |                  |
| DATE:<br>OCT. 2009 | SCALE:<br>1/4" = 1'-0" | DWG. #<br>1 OF 3 |

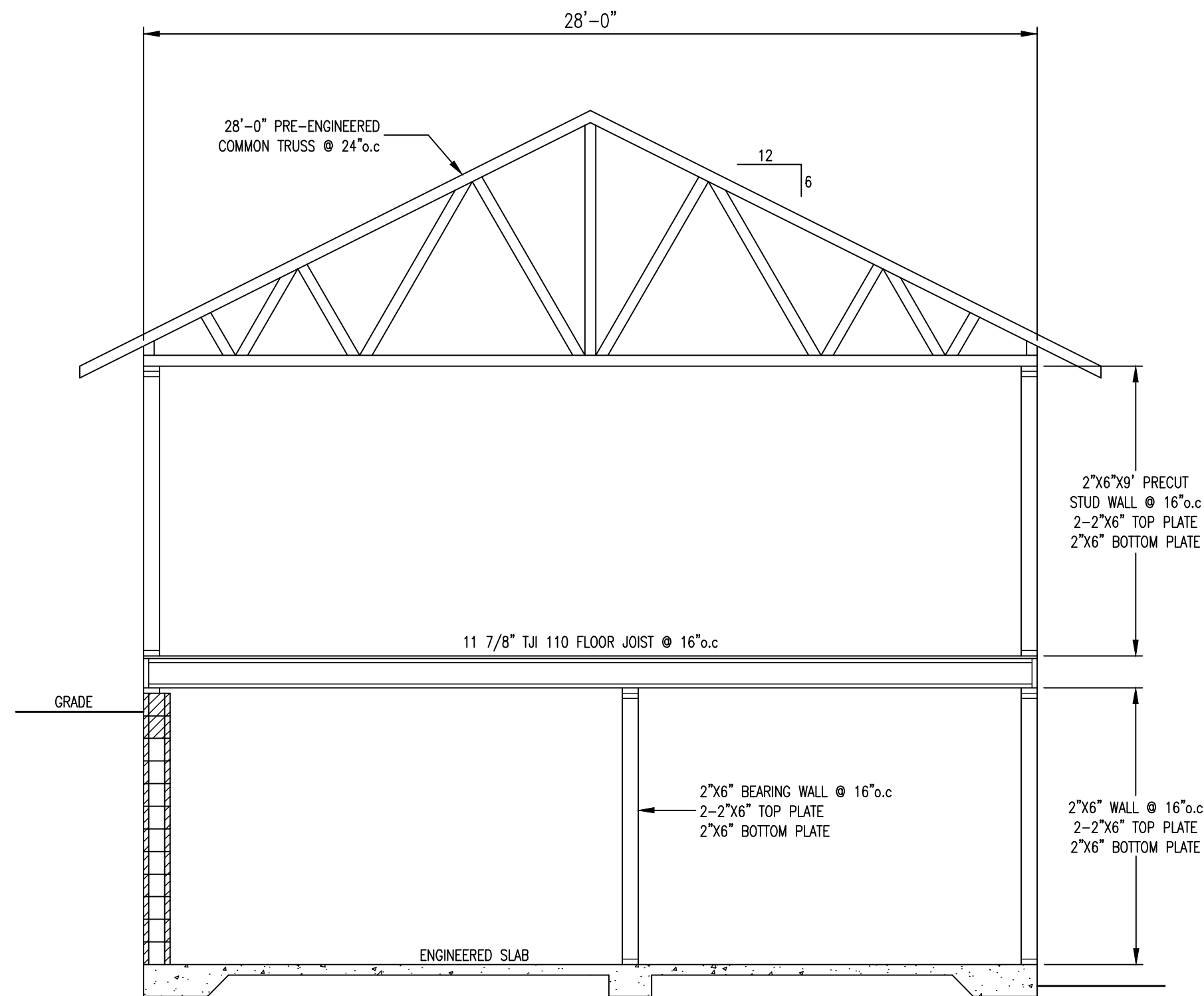




FOUNDATION PLAN



CROSS SECTION A-A



CROSS SECTION B-B

GENERAL NOTES:

1. CONTRACTORS ARE RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. REPORT ALL INCONSISTENCIES TO HALIBURTON LUMBER DESIGN.
2. CONFIRM ALL DETAILS NOT SHOWN WITH HALIBURTON LUMBER DESIGN. NON-APPROVED DETAILS MAY BE REQUIRED TO BE CHANGED.
3. ANY SUBSTITUTION OF MATERIALS MUST BE APPROVED BY HALIBURTON LUMBER DESIGN.

DECK GUARDS:

1. DECK GUARDS TO MEET O.B.C. REQUIREMENTS OF PART 9 SECTION 9.8 AND SB-7
2. NO RAILING REQ'D IF WALKING SURFACE OF DECK IS NOT MORE THAN 23 5/8" ABOVE FINISHED GRADE
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4. RAILING TO BE MIN. 3'-6" HIGH WHERE THE WALKING SURFACE OF THE DECK IS MORE THAN 5'-11" ABOVE FINISHED GRADE O.B.C. PART 9.8.8.3.
4. OPENINGS THRU ANY RAILINGS SHALL BE OF A SIZE TO PREVENT THE PASSAGE OF A SPHERICAL OBJECT A DIAMETER OF MORE THAN 4" O.B.C. PART 9.8.8.5.

SMOKE ALARMS:

1. SMOKE ALARMS TO BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND ARTICLE 9.10.19 O.B.C.

| NO.  | DATE | DESCRIPTION |
|--|------|-------------|
| REVISIONS  |      |             |
| <div><div><div></div><div></div><div></div></div><div><div>TIM-BR</div><div>Mart</div></div></div> |      |             |
| PHONE (705) 457 - 2510<br>FAX (705) 457 - 1591<br>E-MAIL hallumber@halhinet.on.ca                  |      |             |

**HALIBURTON  
LUMBER**  
& ENTERPRISES LIMITED

BOX 534  
HALIBURTON, ON  
K0M 1S0

CUSTOMER:  
**TERRY & SUSAN HILL**

LOCATION:

|                    |                        |                  |
|--------------------|------------------------|------------------|
| HOME #:            | COTTAGE #:             | OTHER #:         |
| 905 - 473 - 9870   | 457 - 4559             |                  |
| DATE:<br>OCT. 2009 | SCALE:<br>1/4" = 1'-0" | DWG. #<br>2 OF 3 |





GENERAL NOTES:

1. CONTRACTORS ARE RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. REPORT ALL INCONSISTENCIES TO HALIBURTON LUMBER DESIGN.
2. CONFIRM ALL DETAILS NOT SHOWN WITH HALIBURTON LUMBER DESIGN. NON-APPROVED DETAILS MAY BE REQUIRED TO BE CHANGED.
3. ANY SUBSTITUTION OF MATERIALS MUST BE APPROVED BY HALIBURTON LUMBER DESIGN.

DECK GUARDS:

1. DECK GUARDS TO MEET O.B.C. REQUIREMENTS OF PART 9 SECTION 9.8 AND SB-7
2. NO RAILING REQ'D IF WALKING SURFACE OF DECK IS NOT MORE THAN 23 5/8" ABOVE FINISHED GRADE
3. RAILINGS TO BE MIN. 2'-11" HIGH WHERE THE WALKING SURFACE OF THE DECK IS NOT MORE THAN 5'-11" ABOVE FINISHED GRADE O.B.C. PART 9.8.8.3.
4. RAILING TO BE MIN. 3'-6" HIGH WHERE THE WALKING SURFACE OF THE DECK IS MORE THAN 5'-11" ABOVE FINISHED GRADE O.B.C. PART 9.8.8.3.
4. OPENINGS THRU ANY RAILINGS SHALL BE OF A SIZE TO PREVENT THE PASSAGE OF A SPHERICAL OBJECT A DIAMETER OF MORE THAN 4" O.B.C. PART 9.8.8.5.

## SMOKE ALARMS

1. SMOKE ALARMS TO BE INSTALLED  
ACCORDING TO MANUFACTURERS  
SPECIFICATIONS AND ARTICLE 9.10.19 O.B.C

|  |  |  |
|--|--|--|
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|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |

| NO.       | DATE | DESCRIPTION |
|-----------|------|-------------|
| REVISIONS |      |             |



PHONE (705) 457 - 2510  
FAX (705) 457 - 1591  
E-MAIL [hallumber@halhinet.on.ca](mailto:hallumber@halhinet.on.ca)

# HALIBURTON LUMBER

& ENTERPRISES LIMITED

BOX 534  
HALIBURTON, ON  
K0M 1S0

CUSTOMER:

TERRY &amp; SUSAN HILL

LOCATION:

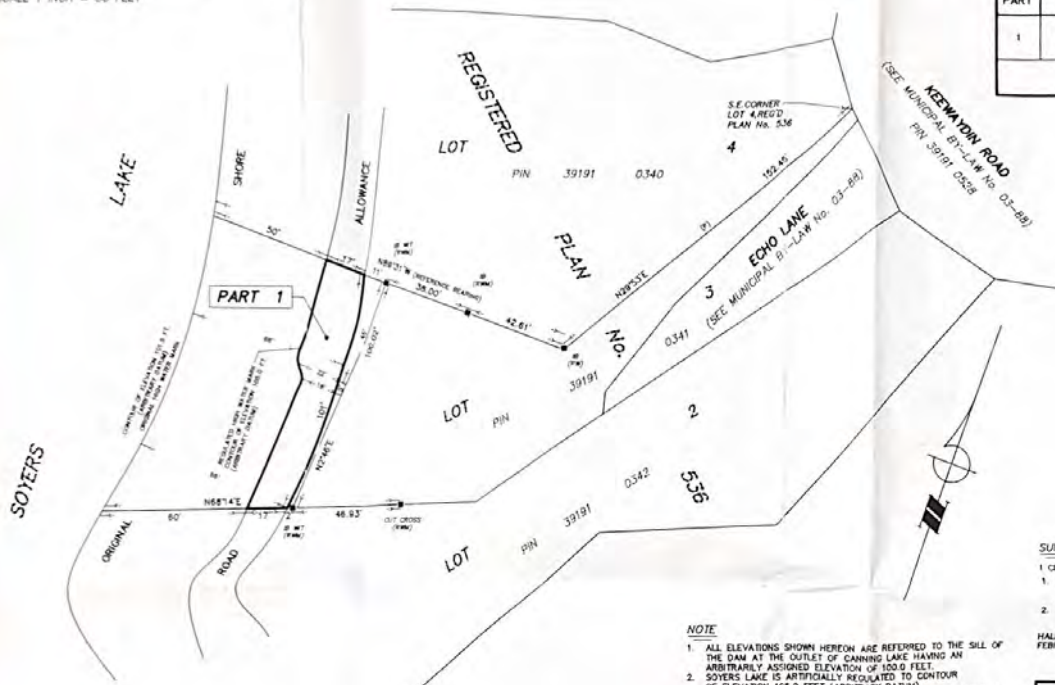
|                             |                          |                  |
|-----------------------------|--------------------------|------------------|
| HOME #:<br>905 - 473 - 9870 | COTTAGE #:<br>457 - 4559 | OTHER #:         |
| DATE:<br>OCT. 2009          | SCALE:<br>1/4" = 1'-0"   | DWG. #<br>3 OF 3 |



PLAN OF SURVEY OF

PART OF THE ORIGINAL SHORE ROAD ALLOWANCE  
IN FRONT OF LOT 31, CONCESSION 9  
GEOGRAPHIC TOWNSHIP OF MINDEN  
COUNTY OF HALIBURTON  
PAUL WILSON O.L.S.

SCALE 1 INCH = 30 FEET



# BEARING NOTE

BEARINGS ARE ASTRONOMIC, DERIVED FROM THE NORTHERLY LIMIT OF LOT 31 REGISTERED PLAN No. 536 HAVING A BEARING OF N89°31'W AS SHOWN THEREON.

## NOTE

- ALL ELEVATIONS SHOWN HEREON ARE REFERRED TO THE SILL OF THE DAM AT THE OUTLET OF DANNING LAKE HAVING AN ARBITRARILY ASSIGNED ELEVATION OF 100.0 FEET.
- SOYERS LAKE IS ARTIFICIALLY REGULATED TO CONTOUR OF ELEVATION 100.0 FEET (ARBITRARY DATUM).
- CONTOUR OF ELEVATION 101.5 FEET (ARBITRARY DATUM) SHOWN HEREON IS THE BEST AVAILABLE EVIDENCE OF THE HIGH WATER MARK EXISTING AT THE TIME OF THE ORIGINAL SURVEY OF THE TOWNSHIP OF MINDEN.
- THE CONTOURS OF ELEVATION OF BOTH THE ORIGINAL AND REGULATED HIGH WATER MARKS AS SHOWN HEREON HAVE BEEN DETERMINED FROM DATA SUPPLIED BY PARKS CANADA WHICH IS OF RECORD IN THE OFFICES OF PAUL WILSON SURVEYING LTD.
- ALL HIGH WATER MARK TIES ARE PERPENDICULAR TO THE TRAVERSE LINE UNLESS INDICATED OTHERWISE.

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

NOVEMBER 10, 2009 *Paul Wilson*  
DATE PAUL WILSON

IMPERIAL: DISTANCES SHOWN HEREON ARE IN FEET AND CAN BE CONVERTED TO METRES BY MULTIPLYING BY 0.3048.

PLAN 19R-9033  
RECEIVED AND DEPOSITED

NOV. 12, 2009

K. ROBERTS, A. DEP.  
LAND REGISTRAR FOR THE LAND TITLES DIVISION OF HALIBURTON (No. 19)

## SCHEDULE

| PART | LOCATION   | PIN    | AREA        |
|------|--|--------|-------------|
| 1    | PART OF THE ORIGINAL SHORE ROAD ALLOWANCE IN FRONT OF LOT 31, CONCESSION 9 | NO PIN | 0.04 AC. B. |

## LEGEND

- DENOTES SURVEY MONUMENT FOUND.
- DENOTES SURVEY MONUMENT PLANTED.
- DENOTES STANDARD IRON BAR.
- DENOTES SHORT STANDARD IRON BAR.
- DENOTES IRON BAR.
- DENOTES ROCK POST.
- DENOTES 3/4" DIA. ROUND IRON BAR.
- DENOTES WITNESS.
- DENOTES PAUL WILSON O.L.S.
- DENOTES BISHOP & WILSON LTD. O.L.S.
- DENOTES H.C. BISHOP O.L.S.
- DENOTES R.W. MOELLER O.L.S.
- DENOTES MEASURED.
- DENOTES REGISTERED PLAN No. 536.

## SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
  - THIS SURVEY WAS COMPLETED FEBRUARY 12, 2009.

HALIBURTON, ONTARIO  
FEBRUARY 17, 2009.

*Paul Wilson*  
PAUL WILSON  
ONTARIO LAND SURVEYOR

PAUL WILSON SURVEYING LTD.  
ONTARIO LAND SURVEYORS  
ENGINEERS - PLANNERS

BOX 309, HALIBURTON,  
ONTARIO, K0M 1S0  
(705) 457-2811

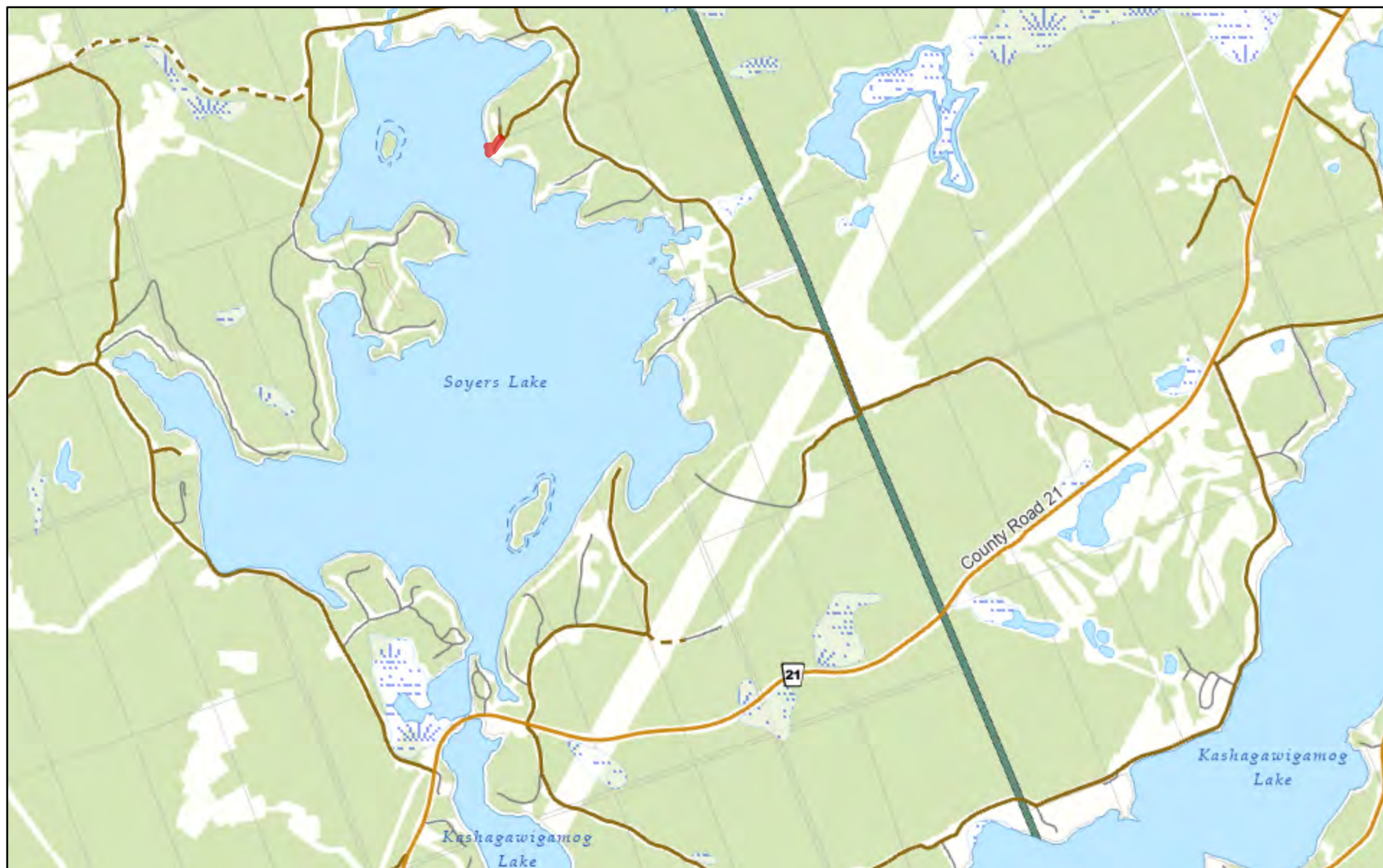
BOX 329, MINDEN,  
ONTARIO, K0M 2K0  
(705) 286-1768

19/10/09 25-10/11 11-11 02/03/09

BOOK 19/11



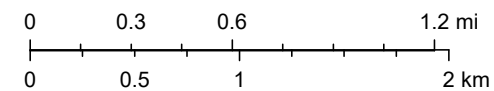
# 1010 Echo Lane - Location GIS



March 21, 2024



Scale: 1:36,112

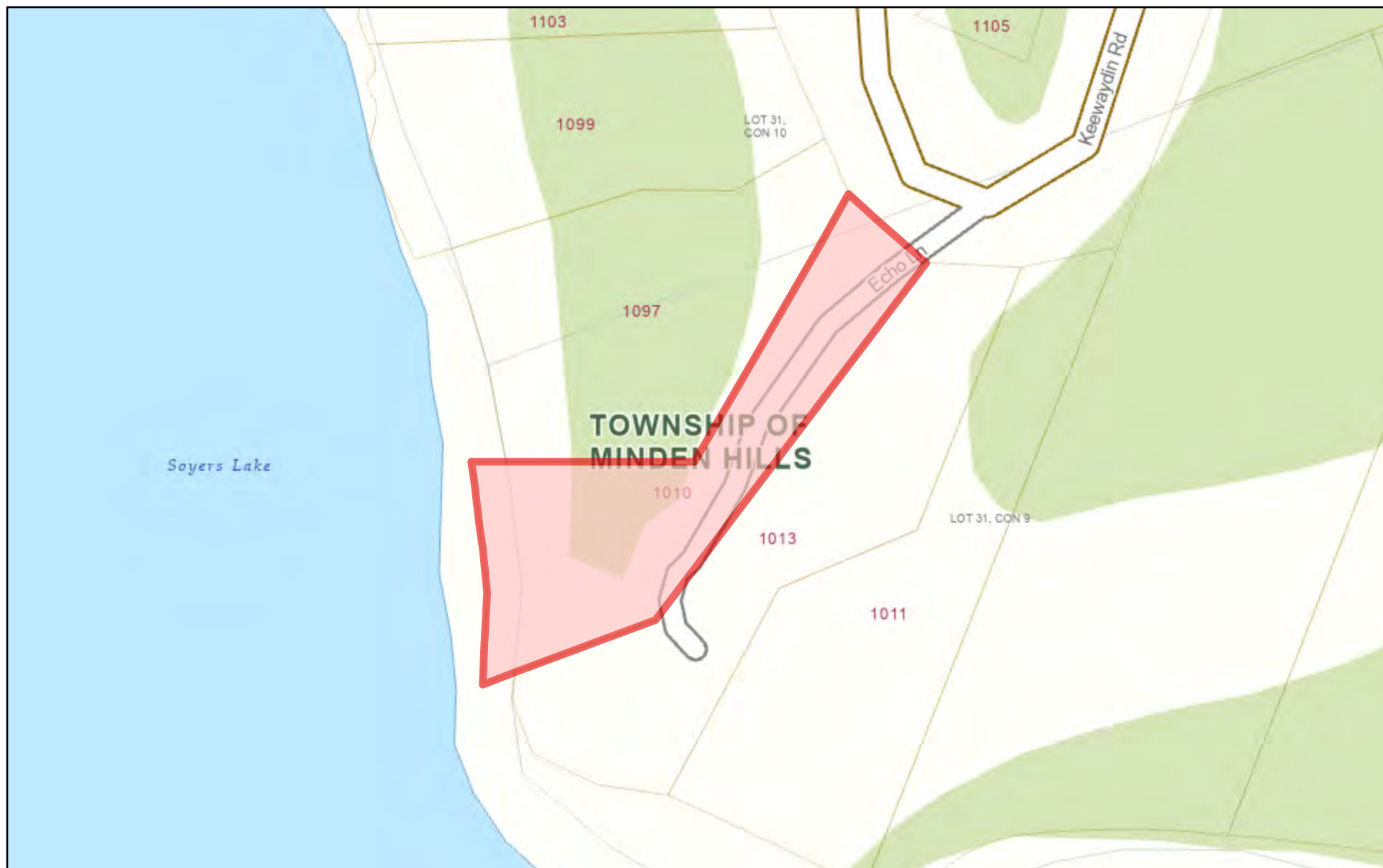


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Published by the County of Haliburton, 2023.



# 1010 Echo Lane - Property GIS



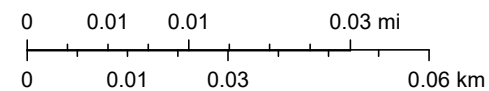
March 21, 2024

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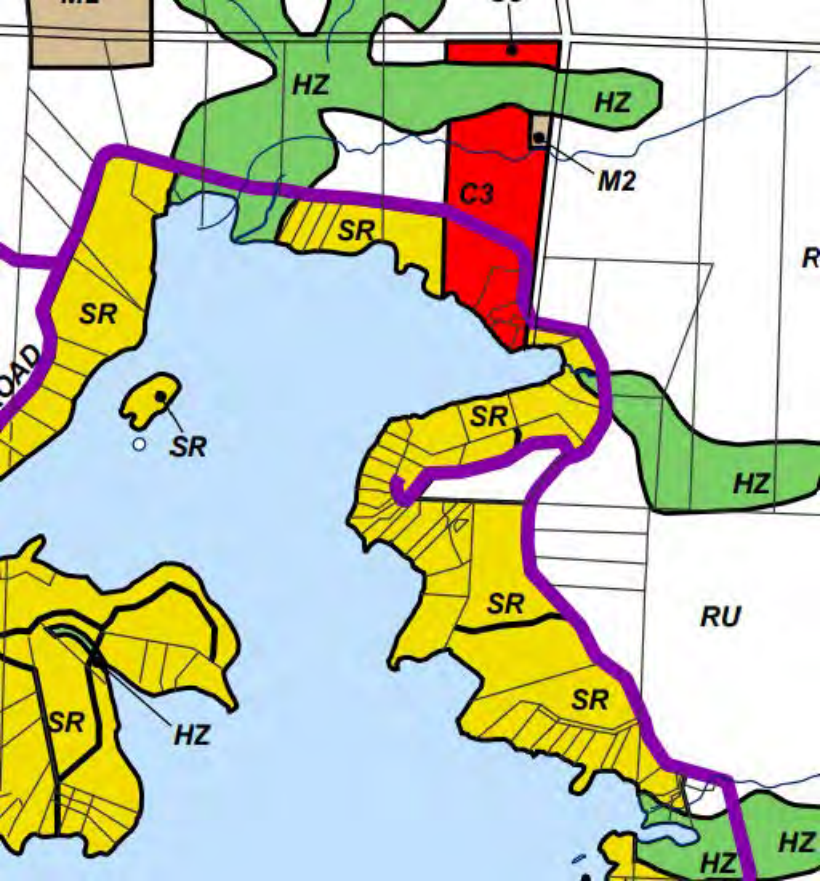
Published by the County of Haliburton, 2023.



Scale: 1:1,128









Location: 8 km (5 mi) west of Haliburton  
 Elevation: 323 m (1,076 ft)  
 Surface Area: 329 ha (813 ac)  
 Mean Depth: 18.6 m (62.3 ft)  
 Max Depth: 48 m (160 ft)  
 Way Point: 78° 37' 00" Lon - W 45° 01' 00" Lat - N

# Soyers Lake

## Area Indicator



## Fishing

Soyers Lake is part of a chain of five lakes that are known for their great fishing and excellent boating. It is connected to Kashagawigamog Lake by a narrow channel. Anglers visiting the lake have the opportunity to fish for smallmouth bass, largemouth bass, walleye and natural lake trout.

Fishing success is best for bass, as these aggressive sportfish are readily found along shore structure around the lake. One particular holding area for bass (especially largemouth) is Dummit Bay in the northern end of the lake. Try working around Elstone Island or off the many points in the area. Smallmouth can be found in the bay early in the season, but in the heat of the summer, the larger fish tend to move into cooler, deeper water.

Walleye were originally introduced into Kashagawigamog Lake to the south of Soyers Lake. Soon after this introduction, walleye began appearing in Soyers Lake and have since developed a sustained population. Fishing success for walleye is generally fair for decent sized fish. In the spring, walleye can be found around the edge of the lake right after the season opens. Try working this area with brightly coloured jigs or lures like a floating Rapala or Thunderstick. In the summer, walleye move into deeper water, following the baitfish. As baitfish tend to congregate around areas of structure like points or drop-offs, walleyes can usually be found in these areas, too. Try jigging or trolling these areas. Walleye tend to go for more natural colours like silver and brown and black. Jigging with minnows, especially salted minnows, can be quite productive.

The lake trout of Soyers Lake are a naturally reproducing strain and fishing can be fair at times. Ice fishing is a popular activity on this lake as anglers can focus their efforts for both walleye and lake trout. However, check the regulations before heading out. There are slot size and ice fishing restrictions in place to aid walleye and lake trout stocks. Practicing catch and release can go a long way in maintaining this fishery.

## Directions

To reach Soyers Lake, follow County Road 21 from Highway 35 north of Minden towards the town of Haliburton. Approximately 10 km (6.2 mi) south of Haliburton, a private boat launch can be found off the north side of Highway 121.

## Facilities

Soyers Lake lies in between the towns of Minden to the south and Haliburton to the north. Both towns are minutes away and offer a variety of various amenities, including accommodations, restaurants and retailers. The cottage lake itself offers limited public facilities.

## Other Options

Due north of Soyers Lake anglers can find the secluded **Little Soyers Lake**. Access to the smaller lake is via a rough 4wd road and the effort is often rewarded with decent fishing for its resident smallmouth bass. Of course, you can always take the channel at the south end of the lake into the much larger **Kashagawigamog Lake**. You will find good fishing for bass, walleye, lake trout and muskellunge in the big lake. More details on Kashagawigamog are found earlier in the book.

